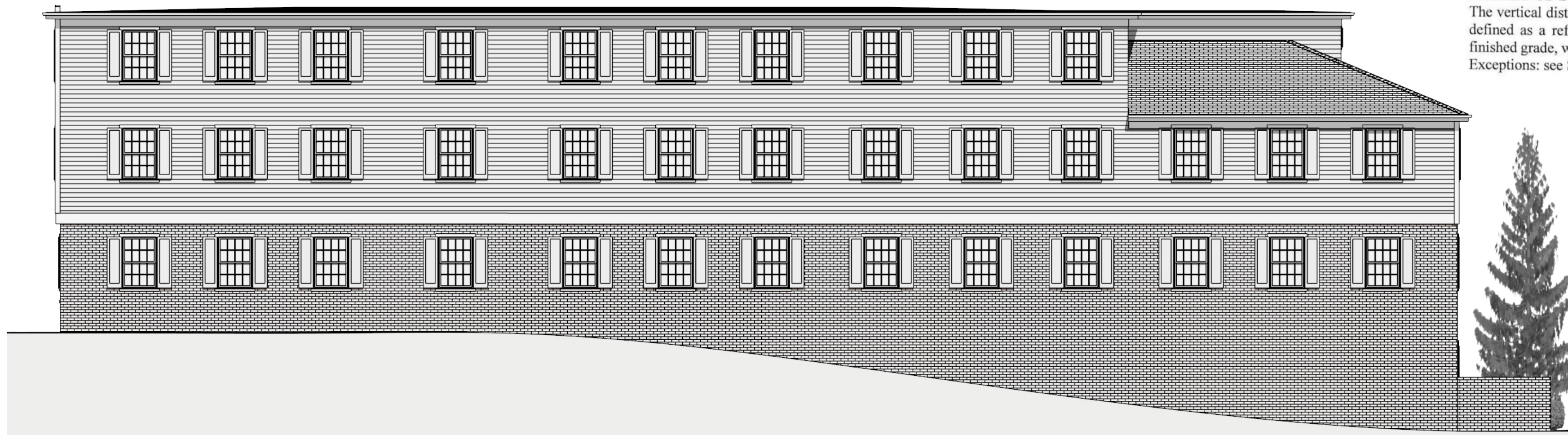




RIGHT SIDE ELEVATION 3/16 in = 1 ft

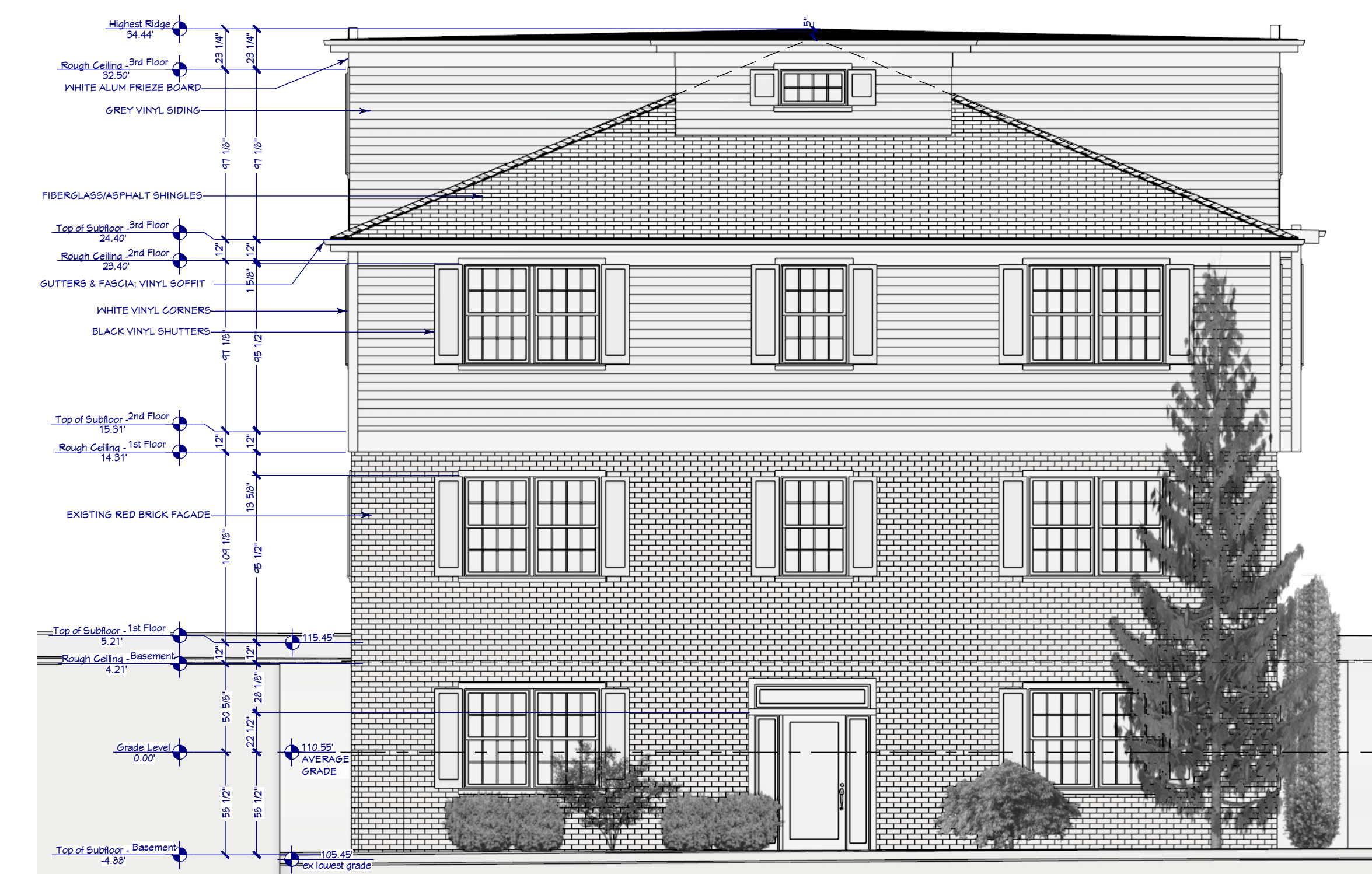


LEFT SIDE ELEVATION 1/8 in = 1 ft

HEIGHT OF STRUCTURE
 The vertical distance from grade plane to the highest roof surface. A grade plane shall be defined as a reference plane representing the average of the pre-construction grade or finished grade, whichever is lower in elevation, adjoining the structure at all exterior walls. Exceptions: see Section 110-109.



REAR ELEVATION 1/8 in = 1 ft



FRONT ELEVATION (HIGHLAND AVE) 3/16 in = 1 ft

EXISTING BUILDING AREAS			
3801	BASEMENT		
3801	FIRST FLOOR HEATED		
3916	SECOND FLOOR HEATED		
0	THIRD FLOOR		
11518	TOTAL HEATED AREA		
EXISTING BUILDING COVERAGE AREAS (SF)			
3801	FOOTPRINT		
3801	TOTAL AREA		
EXISTING IMPERVIOUS COVERAGE			
3801	BUILD COV. FROM ABOVE		
7748	DRIVEWAY		
75	FRONT WALK		
11624	TOTAL AREA		
PROPOSED BUILDING AREAS		SF CHANGE	
3801	BASEMENT		
5591	FIRST FLOOR HEATED	1790	
5748	SECOND FLOOR HEATED	1832	
4627	THIRD FLOOR	4627	
19767	TOTAL HEATED AREA	8249	
PROPOSED BUILDING COVERAGE AREAS (SF)			
3801	FIRST FLOOR FOOTPRINT		
3801	TOTAL AREA	0	
PROPOSED IMPERVIOUS COVERAGE			
3801	BUILD COV. FROM ABOVE		
7748	DRIVEWAY		
75	FRONT WALK		
11624	TOTAL AREA	0	
516	OFFICE USE		
19251	RESIDENTIAL USE		
19767	TOTAL AREA		
BUILDING CHARACTERISTICS			
USE GROUP:	EXISTING	PROPOSED	
Construction Class	B	B, R-2	
No. of Stories	2	3	
Height of Structure	34.02	34.44	
Area - Largest Floor	3916	5748	SF
New Build. Area/All Floors		8249	SF
Volume of New Structure		168,280	CF
Max. Live Load		40	
Max. Occupancy Load		N.A.	

SCOPE OF WORK:

PROPOSAL TO CONVERT THE EXISTING OFFICE BUILDING INTO A MIXED USE OFFICE AND RESIDENTIAL BUILDING

23 Apartments
 (1) 3 BEDROOM COAH - BASEMENT LEVEL
 (2) 2 BEDROOM COAH - FIRST FLOOR
 (20) 1 BEDROOM MARKET

516 sf 1 Commercial Space

THE PARKING AND TRASH AREAS ARE ACCESSED FROM THE REAR BUILDING ENTRANCE

RESIDENTIAL AMENITIES:
 161 SF - BICYCLE STORAGE
 764 SF - AMENITY ROOM

BEDROOM SF

3 BEDROOM
 150 SF - BEDROOM 1
 95 SF - BEDROOM 2
 115 SF - BEDROOM 3

2 BEDROOM UNITS
 100 SF - BEDROOM 1
 75 SF - BEDROOM 2

1 BEDROOM UNITS
 120 SF - BEDROOM

70 SF - MINIMUM BEDROOM SIZE
 100 SF - TYPICAL BEDROOM SIZE



COPYRIGHT NOTE
 1. Nothing shown on this drawing is to be construed as a representation of the actual conditions of the site.
 2. The drawings are the property of the architect and shall remain confidential. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without written approval from the architect.
 3. The drawings are to be used only for the project and site shown. No other use is permitted.
 4. The drawings are not to be used for any other project, site, or purpose without written approval from the architect.

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

PROJECT DESCRIPTION:
 20 HIGHLAND AVENUE
 METUCHEN, NJ 08840
 Job No 23-048 20 Highland Ave

Marcille Architecture
 505 Main Street
 Second Floor Metuchen NJ 08840
 (p) 732-662-5824 (f) 732-662-5826
 mark@mpm-arch.com
 308 SE Central Ave Seaside Park, NJ 08752



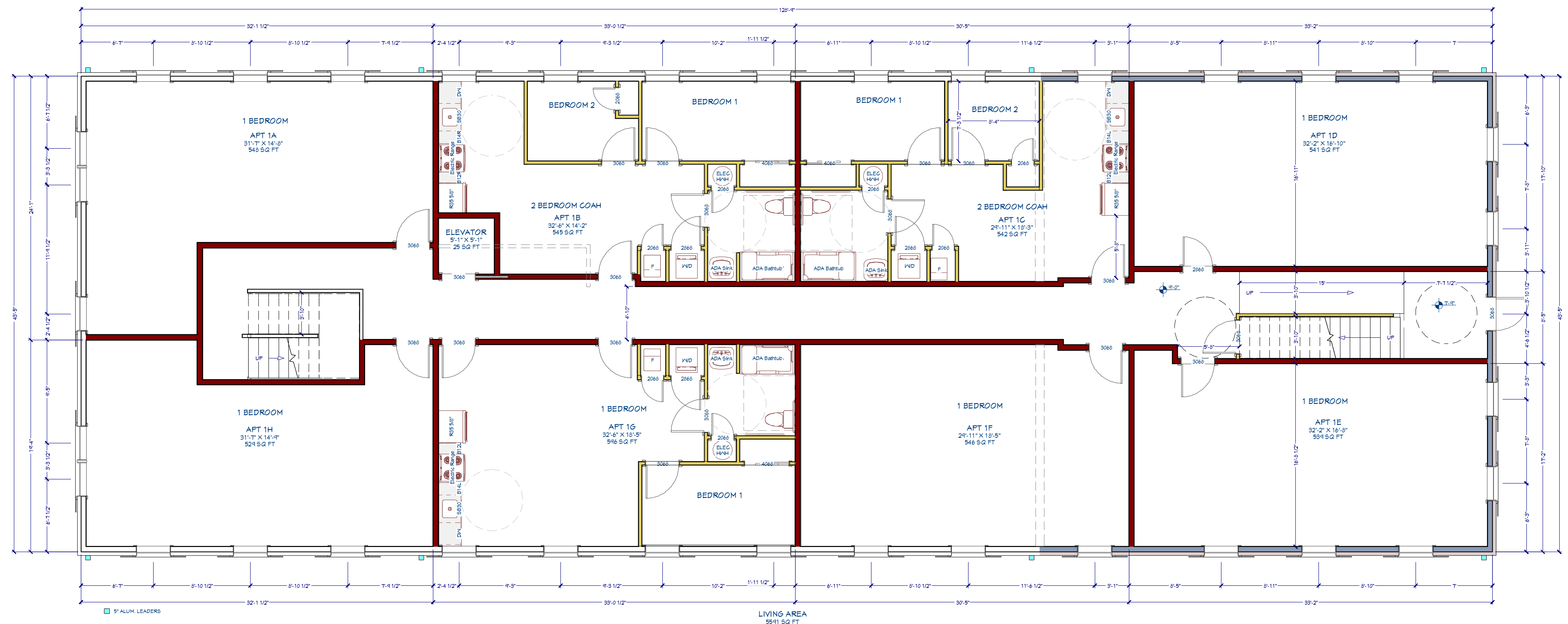
PA LICENSE # 16478
 PA LICENSE # 40392

DATE:
 11.02.2023

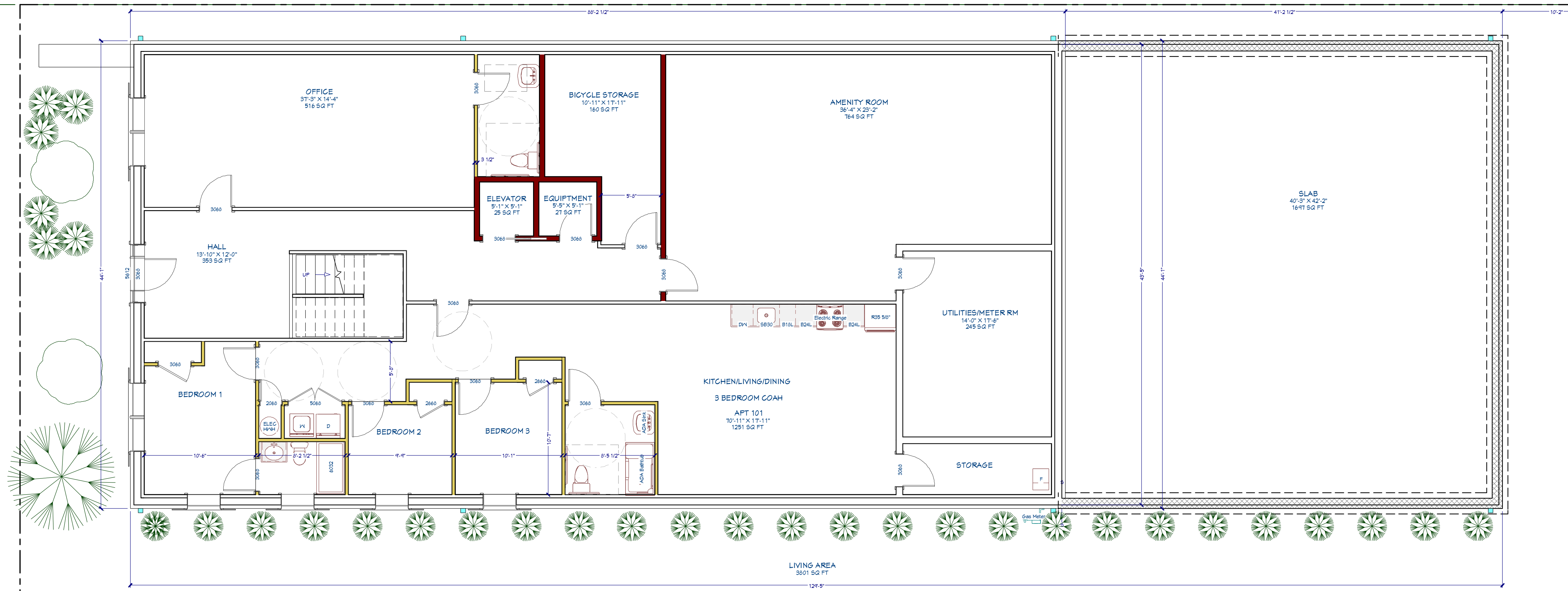
SCALE:
 AS NOTED

SHEET:

A-1



FIRST FLOOR 3/16 in = 1 ft



BASEMENT FLOOR 3/16 in = 1 ft

© COPYRIGHT NOTE
 1. No part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.
 2. These drawings are the property of the architect and shall remain the property of the architect. No part or parts of these drawings shall be used for any other project without the prior written consent of the architect.
 3. No part of these drawings shall be used for any other project without the prior written consent of the architect.
 4. No part of these drawings shall be used for any other project without the prior written consent of the architect.
 5. No part of these drawings shall be used for any other project without the prior written consent of the architect.

NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			

PROJECT DESCRIPTION:
 20 HIGHLAND AVENUE
 METUCHEN, NJ 08840
 Job No 23-048 20 Highland Ave

Marcille Architecture
 505 Main Street
 Second Floor Metuchen NJ 08840
 (p) 732-662-5824 (f) 732-662-5826
 mark@mpm-arch.com
 308 SE Central Ave Seaside Park, NJ 08752



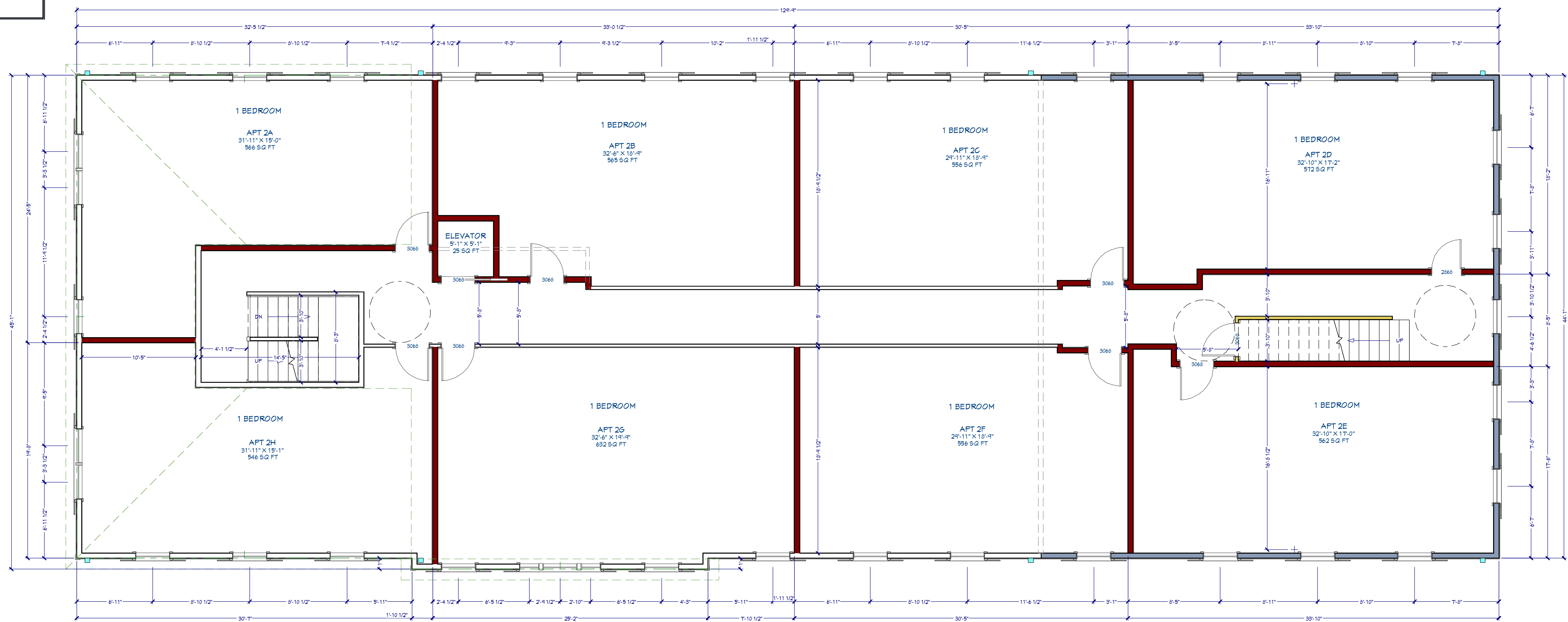
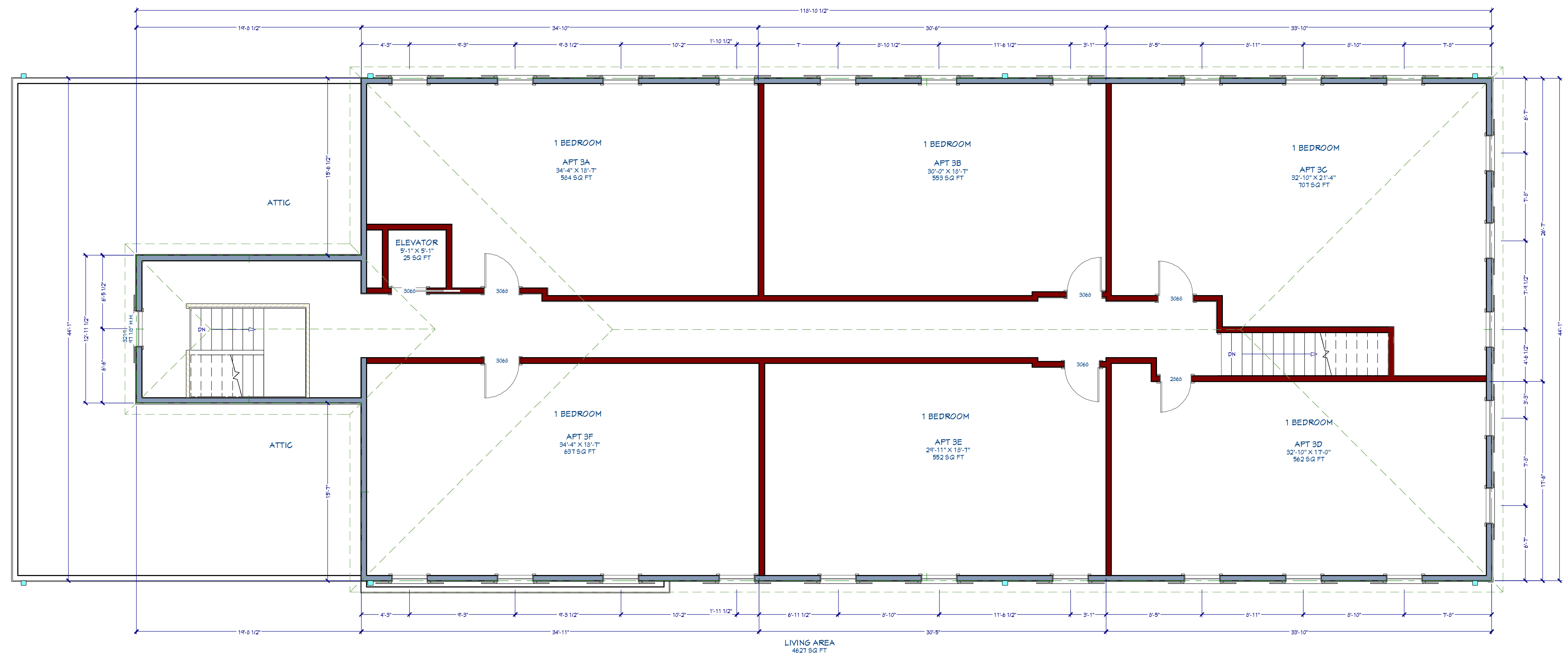
Mark
 NJ LICENSE # 16478
 PA LICENSE # 40392

DATE:
 11.02.2023

SCALE:
 AS NOTED

SHEET:

A-2



COPYRIGHT NOTE

1. Nothing shown on these drawings is to be construed as a warranty or representation of any kind.
2. These drawings are prepared by the architect and are not to be used for any other purpose without the written consent of the architect.
3. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.
4. The architect shall not be responsible for any errors or omissions in these drawings, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect.
5. The architect shall not be responsible for any errors or omissions in these drawings, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect.

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

PROJECT DESCRIPTION:

20 HIGHLAND AVENUE
METUCHEN, NJ 08840

Job No. 23-048 20 Highland Ave

Marcille Architecture
505 Main Street
Second Floor Metuchen NJ 08840
(P) 732-662-5824 (F) 732-662-5826
mark@mpm-arch.com
308 SE Central Ave Seaside Park, NJ 08752



NJ LICENSE # 16378
PA LICENSE # 40392

DATE:
11.02.2023

SCALE:
AS NOTED

SHEET:

A-3