

PROPERTY OWNERS WITH 200 FT. OF PROJECT

TAXING DISTR	ADJACENT PROPER ICT 09 METUCHEN BORO	TY LIS	TING APPLICANT: BLOCK: COUNTY 12 MIDDLE:	208; LOT: 134 SEX	TAXING DISTR	RICT 09	ADJACENT PROPER METUCHEN BORO		COUNTY 12 MIDDLE	: 208; LOT: 134 ESEX
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS		PROPERTY ID	PROPERT	Y LOCATION	CLASS	OWNERS NAME & ADDRESS	
43 4	LEHIGH-PERTH AMBOY RR L5,7,8	15C	COUNTY OF MIDDLESEX % CO. P.O. BOX 871, 1 J.F.K. SQ NEW BRUNSWICK, NJ	TREASURER	208 116	23 TULS L117	SA AVE.	2	SHERBINE, PAUL & KAREN 23 TULSA AVE. METUCHEN, NJ	08840
208 1	244 MAIN ST.	4A	PARK, CHOON SIK & NELLIE 244 MAIN ST. METUCHEN, NJ	08840	208 125	30 TULS 128	BA AVE.	2	DRAGAN, OSTAP & DIANA 30 TULSA AVENUE METUCHEN, NJ	08840
208 5	236 MAIN ST.	1	TTASCO DEVELOPERS LLC 16 HUNTERS TRL WARREN, NJ	07059	208 129	22 TULS L130	SA AVE.	2	HUNTRESS, EDWARD A. & DOI 22 TULSA AVE. METUCHEN, N.J.	NNA E. 08840
208 9.3	228 MAIN ST.	1	TTASCO DEVELOPERS LLC 16 HUNTERS TRL WARREN, NJ	07 05 9	208 131	18 TULS	SA AVE.	2	MUSCAT, MATTHEW P 18 TULSA AVE METUCHEN, NJ	08840
208 9.04	224 MAIN ST.	4A	TAO CMD REALTY LLC 18 HUNTERS TRAIL WARREN, NJ	07059	208 133	16 TULS	SA AVE.	2	HECHT, ROBERT H. & DEBRA 16 TULSA AVE. METUCHEN, NJ	D. 08840
208 44	23 LINCOLN AVE.	2	COHEN, GARY & TOBIN, TERES 23 LINCOLN AVE METUCHEN, NJ	SA M. 08840	208 134	14 TULS 135	SA AVE.	2	BIERS-ARIEL, YONAH & FLOR 14 TULSA AVE METUCHEN, NJ	ES, MICHELLE 08840
208 46	19 LINCOLN AVE.	2	HANSEN, THOMAS J. & ANDRE 19 LINCOLN AVE. METUCHEN, NJ	А J. 08840	208 136	10 HOWE 137		2	SHANAHAN, KATHLEEN 10 HOWELL ST METUCHEN, NJ	08840
208 71	MAIN ST.	1	254 MAIN STREET LLC 254 MAIN ST METUCHEN, NJ	08840	208 138	10 TULS 139	EA AVE.	2	O'MALLEY, THOMAS & KRISH 10 TULSA AVE METUCHEN, NJ	NAN, ANNE M 08840
208 104	3 TULSA AVE. 105,106	2	YU, PHILIP & THERESA 3 TULSA AVE METUCHEN, NJ	08840	208 140	6 TULSA	A AVE.	2	POIRER, JAMES 6 TULSA AVE. METUCHEN, NJ	08840
208 107	7 TULSA AVE.	2	GIBSON, JAMES & PATRICIA 7 TULSA AVE. METUCHEN, NJ	08840	208 141	4 TULSA	A AVE.	2	KOVACS, JEAN 4 TULSA AVE. METUCHEN, NJ	08840
208 108	9 TULSA AVE.	2	BERTUCCI, JOSEPH J & LYNN 9 TULSA AVE METUCHEN, NJ	E 00000	208 142	11 HOWE 143-144		2	FARRIS, MARZET & CLAUDIA 11 HOWELL ST METUCHEN, NJ	08840
208 110	17 TULSA AVE.	2	HANNAH, SARAH LYNN 17 TULSA AVE METUCHEN, NJ	08840	208 150	35 LINC	COLN AVE.	15F	HVRS METUCHEN PRESERVATI 394 BROADWAY STE 405 NEW YORK, NY	10013
208 112	19 TULSA AVE. L113	2	SCHNITZER, GARY M. & LORE 19 TULSA AVE. METUCHEN NJ	N ROLLER	208 151	27 TULS	BA AVE.	2	MISDEA, DANIEL & KATHLEE 27 TULSA AVE METUCHEN NJ	N 08840
208 114	21 TULSA AVE. L115	2	FENG, KENNETH B 21 TULSA AVE METUCHEN, NJ	08840	208 152	33 TULS	SA AVE.	2	HIGGINS, JAMES SEAN & RA 33 TULSA AVE METUCHEN, NJ	O8840

1 Elizabeth Plaza Manager-Corporate Properties 80 Park Plaza, T6B P.O. Box 3175 Union, NJ 07083 Buckeye Pipeline P.O. Box 368 Cablevision of Raritan Valley 275 Centennial Avenue Emaus, Pa. 18049 Piscataway, NJ 08855 Attn: Margurite Prenderv

Middlesex Water Co.

Parking Authority 500 Main Street

485 Rt 1 So., Bldg C. 4th Flr.

Newark, NJ 07101 John F. Kennedy Square 75 Bayard Street, 5th Floor New Brunswick, NJ 08901

Texas Eastern Transmission Co

New Jersey Bell Telephone Co. 540 Broad St. - Room 305

501 Coolidge Street South Plainfield, NJ 07080

EEHOLD SOIL WANTS TO SEE ALL SITE PLAN APPLICATIONS EVEN IF YOU ARE NOT DISTURBING MORE THAN 5,000 SQUARE FEET OF LAND. PLEASE SEND A COPY OF THE

4000 Kozloski Road Freehold, NJ 07728-5033

YOU MUST NOTICE D.O.T. IF THE PROPERTY IS LOCATED OR WITHIN 200 TEET OF A STATE HIGHWAY!

DEPT.OF TRANSPORTATION 1035 PARKWAY AVENUE TRENTON, NJ 08625

TULSA AVENUE (50' ROW) 1 QR-BLOCK 208 BLOCK 208 VARIOUS EX. LOT 133 (TM) LOT 134 (TM) LANDSCAPING PLANTINGS IN PLANTER AREA TO REMAIN, APPLY NEW MULCH WITHIN 25' FRONT PLANTING BORDER, YAŘD DOUBLE SHREDDED SETBÄCK WOOD, 2-3" DEEP EX. 1.5 STORY WOOD FRAME DWELLING PROP. RENOVATION 0 \mathbf{O} TO 1|ST FLOOR 0 $(\pm 1,200 \text{ SF})$ 0 **≫**0 FOOTPRINT NEW 2ND FLOOR 0 5 ا صُ Õ \sim (C) EX. ±10" DBH YARD DECIDUOUS SETBACK TREE TO ─ EX. STERS REMAIN EX. TWIN ± 3 " DBH GARAGE DECIDUOUS TREE TO REMAIN . ADJ. DRVWY ÉX. ±20' HIGH

SITE IMPROVEMENTS

BLOCK 208

LOT 136 (TM)

SCALE: 1" = 10'

REMAIN

CONIFER TREE TO

BULK REQUIREMENTS FOR "R-2" (RESIDENTIAL ZONE)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	7,500 SF	* 5,000 SF	** 5,000 SF
MINIMUM LOT WIDTH	62.5 FT	* 50 FT	** 50 FT
MINIMUM LOT DEPTH	100 FT	100 FT	100 FT
MINIMUM FRONT YARD SETBACK (TULSA)	25 FT	* 21.5 FT	** 21.5 FT
MINIMUM FRONT YARD SETBACK (HOWELL)	25 FT	* 13.8 FT	** 13.8 FT
MINIMUM ONE SIDE YARD SETBACK	8 FT	8.1 FT	8.1 FT
MINIMUM SIDE YARD SETBACKS COMBINED	18 FT	N/A	N/A
MINIMUM REAR YARD SETBACK	25 FT	±26.7 FT	±26.7 FT
MAXIMUM BUILDING LOT COVERAGE	30%	±24.0%	±24.0%
MAXIMUM IMPERVIOUS COVERAGE	50%	±38.5%	±38.5%
MAXIMUM BUILDING HEIGHT	3 STORIES (35 FT)	1.5 STORIES (±20 FT)	2.5 STORIES (26 FT)

* EXISTING CONDITIONS NON-CONFORMING ** SEEKING VARIANCE FOR EXISTING NON-CONFORMANCE

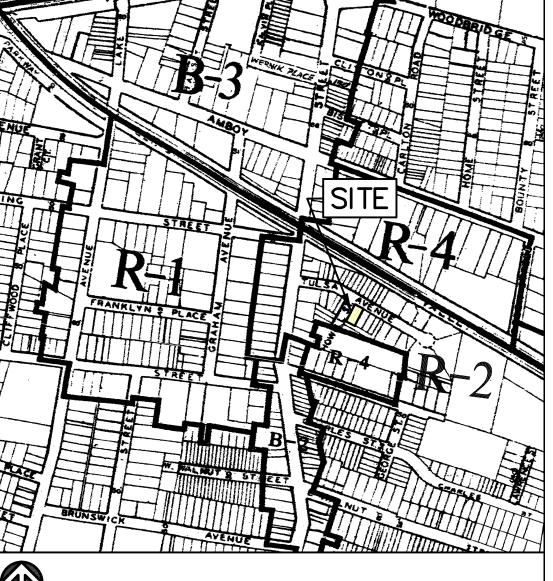
VARIANCE AND DESIGN WAIVER REQUESTS:

• THE PROJECT REQUIRES RELIEF FROM SECTION 110-64 (ATTACHMENT 1) ZONING SCHEDULE OF DENSITY BULK AND COVERAGE CONTROLS FOR REQUIRED FRONT YARD SETBACK IN THE R-2 ZONE. 25 FEET IS REQUIRED, WHERE EXISTING (AND PROPOSED) SETBACKS ALONG TULSA AVENUE AND HOWELL STREET ARE 21.5 FEET AND 13.8 FEET, RESPECTIVELY. THE VARIANCE IS FOR EXPANSION OF A NON-CONFORMING CONDITION. THE EXISTING FRONT YARD SETBACKS DO NOT COMPLY WITH REQUIREMENT, SO BY ADDING THE SECOND STORY, THE NON-CONFORMITY IS EXPANDED.

THE PARCEL DOES NOT MEET THE BULK REQUIREMENTS FOR LOT AREA (7,500 SQUARE FEET REQUIRED, 5,000 SQUARE FEET EXISTING) NOR FOR LOT WIDTH ALONG TULSA AVENUE (62.5 FEET REQUIRED, 50 FEET EXISTING). THESE EXISTING NONCONFORMITIES ARE NOT IMPACTED BY THIS

• PER SECTION 110-112.6 ACCESSORY STRUCTURES, THE EXISTING FREESTANDING ONE-CAR GARAGE (217 SQUARE FEET) REQUIRES A 5 FEET SETBACK FROM SIDE AND REAR PROPERTY LINES. THE EXISTING SIDE AND REAR SETBACKS ARE ONLY ±3.2 FT. AND ±3.8 FT., RESPECTIVELY. THESE EXISTING NONCONFORMITIES ARE NOT IMPACTED BY THIS APPLICATION.

> PARKING CALCULATION DWELLING WILL HAVE 4 BEDROOMS 4 BEDROOMS = 2.5 PARKING SPACES2 PARKING SPACES REQUIRED 1 DRIVEWAY SPACE PLUS 1 GARAGE SPACE ARE PROVIDED



KEY AND ZONING MAP

SCALE: $1" = \pm 500'$

GENERAL NOTES

- 1. PROPERTY KNOWN AND DESIGNATED AS LOTS 134 & 135 IN BLOCK 208 SHOWN ON THE CURRENT TAX MAP SHEET No. 71 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
- 2. AREA OF SITE: EXISTING LOT = 5,000 S.F. (0.115 AC.)
- 3. THE PROPERTY IS SITUATED IN "R-2" (RESIDENTIAL ZONE).
- 4. LOTS 134 & 135 CURRENTLY HAS AN EXISTING 1.5 STORY WOOD FRAME HOUSE AND AN EXISTING DETACHED GARAGE ON SITE. THE APPLICANT PROPOSES TO RENOVATE THE EXISTING 1ST FLOOR AND ADD A NEW 2ND FLOOR AS INDICATED. THE APPLICANT SHALL LIMIT ALL SITE WORK TO WITHIN BUILDING FOOTPRINT.
- 5. OUTBOUND INFORMATION FOR LOT 134 (T.M.) AND LOT 135 (T.M.) OBTAINED FROM MAP ENTITLED "PLAN OF SURVEY YONAH BIERS-ARIEL AND MICHELLE FLORES BOROUGH OF METUCHEN MIDDLESEX COUNTY, NEW JERSEY BLOCK 208, LOTS 134 & 135" DATED 10/13/20, PREPARED BY BRUNSWICK WEST, INC., FLEMINGTON, NJ.
- 6. TOPOGRAPHIC DATA ON SITE AND SURROUNDING LOTS OBTAINED FROM GOOGLE DATA, VERTICAL DATUM: EGM96, WGS84 (ADD 1.47' TO CONTOUR ELEVATIONS TO CONVERT TO NAVD88 DATUM). TOPOGRAPHY NOT TO BE UTILIZED FOR CONSTRUCTION - NO GRADING CHANGES ARE PROPOSED WITH THIS PROJECT, THEREFORE A CERTIFIED TOPOGRAPHIC SURVEY IS NOT PROVIDED.
- 7. EXISTING TOPOGRAPHY AS SHOWN ON THE PLAN IS FOR GENERAL REFERENCE ONLY AND INDICATES THERE IS ADEQUATE SLOPE TO PROVIDE PROPER DRAINAGE. AS THERE IS NO PROPOSED INCREASE IN IMPERVIOUS COVERAGE, NO STORMWATER MITIGATION MEASURES ARE REQUIRED.
- 8. ARCHITECTURAL INFORMATION OBTAINED FROM ELECTRONIC DATA FILE: 'BOA-1-21006.DWG', ENTITLED "FIRST FLOOR PLAN / SECOND FLOOR PLAN" DATED 03/29/21, PREPARED BY KLESSE FORBES ARCHITECTS, SHORT HILLS, NJ.
- 9. ALL PROPOSED IMPROVEMENTS SHALL CONFORM TO THE BOROUGH OF METUCHEN AND MIDDLESEX COUNTY STANDARDS AND SPECIFICATIONS.
- 10. OWNER/APPLICANT: YONAH BIERS-ARIEL & MICHELLE FLORES 14 TULSA AVENUE METUCHEN, NJ 08840

(530) 902-0075

REV. DESCRIPTION

DATE B

SITE IMPROVEMENT PLAN

GRAPHIC SCALE 1" = 10'

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CIVIL ENGINEERING • LAND SURVEYING LAND PLANNING • LANDSCAPE ARCHITECTURE HYDRAULIC & HYDROLOGIC ENGINEERING ENVIRONMENTAL & EROSION CONTROL ENGINEERING

1199 AMBOY AVENUE, SUITE 1D EDISON, NEW JERSEY 08837 PHONE: (732) 205-8288 • FAX: (732) 719-7208 www.meridianegi.com • info@meridianegi.com SITE IMPROVEMENT PLAN

PREPARED FOR: LOTS 134 AND 135 (T.M.)

IN BLOCK 208 **14 TULSA AVENUE**

SITUATED IN: BOROUGH OF METUCHEN

MIDDLESEX COUNTY, NEW JERSEY 46-52bpp DATE: 05/11/21 SCALE: 1" = 10'46.0052 DRAWN: RVB SHEET 1 OF

ESLIE A. WALKER III, PE PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NUMBER: 24GE04729700



IMAGE OF EXISTING DWELLING

IMAGE OF EXISTING DWELLING (VIEWING EASTERN DIRECTION)