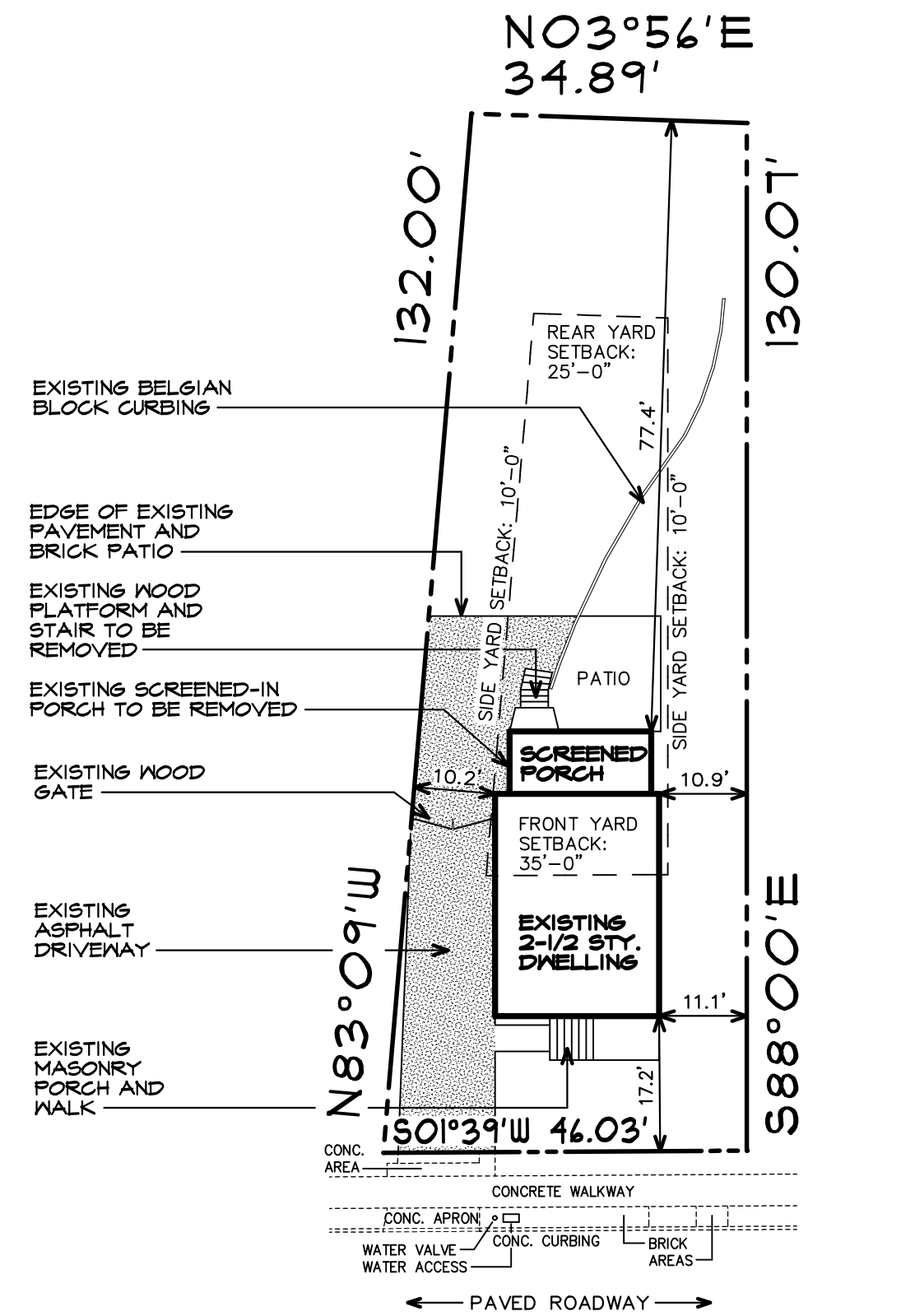
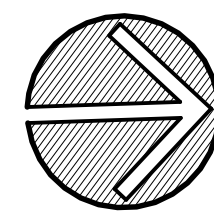


Wyrzten-Katehos Residence

19 Halsey Street, Metuchen, NJ 08840



HALSEY STREET



EX'G. SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION GIVEN WAS OBTAINED FROM A SURVEY PREPARED BY:

W.H. CANADA, L.S.
LAND SURVEYOR
11 LAKE TRAIL EAST
MORRISTOWN, NJ 07960
1-973-425-0535

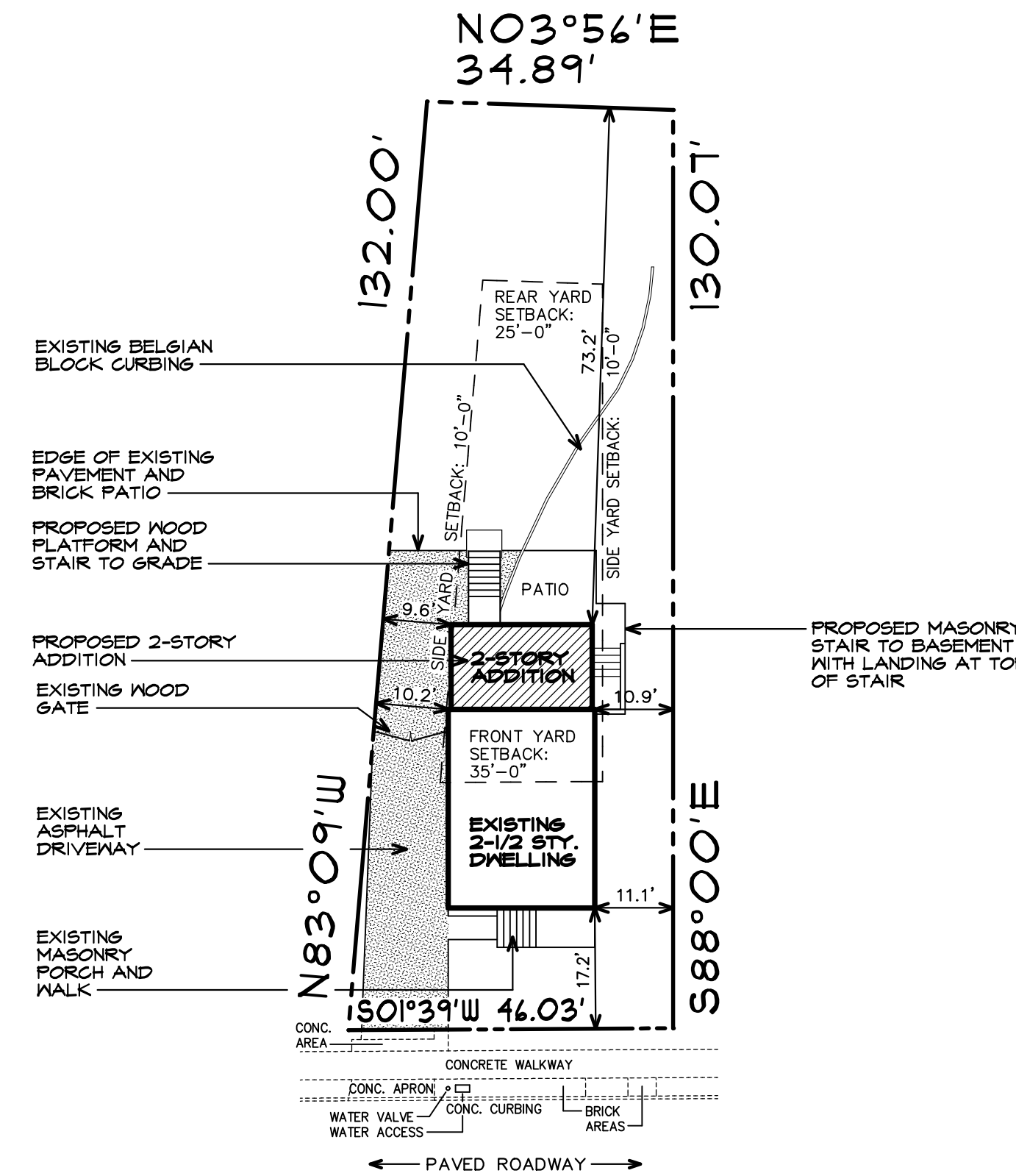
DATE: DECEMBER 7, 2022

Existing BUILDING COVERAGE	
Existing House Footprint:	588
Existing Rear Covered Porch:	142
Existing Front Steps and Landing:	77
Existing Rear Stair and Platform:	33
TOTAL	840
Total Building Coverage	= 840 = 15.9%
Site Area	5,293
Max. Allowable Building Coverage: 40% (2,117 Sq.Ft.)	

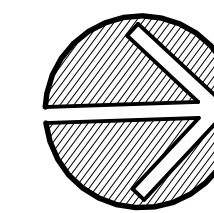
Existing IMPERVIOUS COVERAGE	
Existing House Footprint:	588
Existing Rear Covered Porch:	142
Existing Front Steps and Landing:	77
Existing Front Walk:	23
Existing Driveway:	826
Existing Rear Stair and Platform:	33
Existing Rear Patio and Curbing:	208
TOTAL	1,897
Total Lot Coverage	= 1,897 = 35.8%
Site Area	5,293
Max. Allowable Impervious Coverage: 70% (3,705 Sq.Ft.)	

Proposed BUILDING COVERAGE	
Existing House Footprint:	588
New Rear Addition Footprint:	240
Existing Front Steps and Landing:	77
Proposed Rear Stair and Landing:	63
TOTAL	968
Total Building Coverage	= 968 = 18.3%
Site Area	5,293
Max. Allowable Building Coverage: 40% (2,117 Sq.Ft.)	

Proposed IMPERVIOUS COVERAGE	
Existing House Footprint:	588
Proposed Rear Addition Footprint:	240
Existing Front Steps and Landing:	77
Existing Front Walk:	23
Existing Driveway:	771
Proposed Rear Stair and Landing:	63
Modified Rear Patio and Curbing:	170
Proposed Masonry Stair to Basement:	47
TOTAL	1,979
Total Lot Coverage	= 1,979 = 37.4%
Site Area	5,293
Max. Allowable Impervious Coverage: 70% (3,705 Sq.Ft.)	



HALSEY STREET



NEW SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION GIVEN WAS OBTAINED FROM A SURVEY PREPARED BY:

W.H. CANADA, L.S.
LAND SURVEYOR
11 LAKE TRAIL EAST
MORRISTOWN, NJ 07960
1-973-425-0535

DATE: DECEMBER 7, 2022

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. No allowances shall be made on behalf of the contractor for any error or neglect on his part. Drawings shall not be scaled.

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Tax & Building Code Information:	
Lot:	15.01
Block:	144
Zone:	B-3 (Office Business District)
Use Group:	R5 - 2021 I.R.C. (NJ ed.)
Construction Class:	5B
Codes:	2021 I.R.C. (NJ ed.) NJUCC Rehab. Subcode 2021 I.E.C.C. (UA Trade-off) 2020 National Electrical Code 2021 Nat. Standard Plumbing Code

Design Loads:		Table 301.5 (2021 I.R.C., NJ ed.)
Live Load:		
Attic without Storage:	10 psf	
Attic with limited Storage:	20 psf	
Decks:	40 psf	
Guards & Handrails:	200 psf	
Rms. other than Sleeping:	40 psf	
Sleeping Rooms:	30 psf	
Wind Design Speed:	95 mph (Designed for 100 mph)	
Wind Exposure Category:	Exposure B	
Braced Wall Panel Method:	2021 I.R.C. (NJ) Sect. R602.10.4.2	
Soil Bearing Capacity:	3,000 psf	

Zoning Calculations: Interior Lot			
	Req'd:	Exist'g:	Proposed:
Lot Area:	10,000	5,293	5,293
Lot Width:	100	44.5	44.5
Lot Depth:	100	130.9	130.9
Front Yard Setback:	35	17.2	17.2
Rear Yard Setback:	25	77.4	73.2
Side Yard Setback:	10	10.2	9.6
Combined Side Yard:	40	21.1	20.5
Building Coverage:	40% (2,117)	15.9% (840)	18.3% (968)
Impervious Coverage:	70% (3,705)	35.8% (1,897)	37.4% (1,979)
Building Height:	35	31'-4"	31'-4"
# of Stories:	3	2.5	2.5

Issued:	Remarks:
04-01-23	Rev. #1: Completeness Review Comments
03-09-23	Sidewalk/Curbing Added to Siteplans
12-12-22	Zoning Permit Denial
10-13-22	Design Update Review
10-12-22	Design Update Meeting
10-11-22	Design Update Review
10-10-22	Preliminary Design Meeting
09-30-22	Preliminary Design Review
09-16-22	Measured Existing Conditions

Dugasz & Brower
ARCHITECTS

David Dugas, AIA, NCARB
NJ Lic. No.: 13740

John C. Brower, AIA, NCARB
NJ Lic. No.: 14325

24 Egan Avenue, Fords, New Jersey 08863
(732) 738-5066 (732) 738-5088 FAX

Project:
Wyrzten-Katehos Residence

Additions and Alterations

Address:
**19 Halsey Street
Metuchen, NJ 08840**

Project No. 220808	Sheet Name: Site Plan & Zoning Analysis
Drawn By: JCB/MJT	T1
Checked By: DD	
Issued: 12-12-22	

ZONING REVIEW - NOT FOR CONSTRUCTION

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. No allowances shall be made on behalf of the contractor for any error or neglect on his part. Drawings shall not be scaled.

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EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING 2-STORY SINGLE-FAMILY DWELLING

EXISTING 2-STORY SINGLE-FAMILY DWELLING

EXISTING BRICK PLATFORM AND STAIR

EXISTING REAR PORCH STRUCTURE TO BE REMOVED

EXISTING WOOD PORCH AND STAIR TO BE REMOVED

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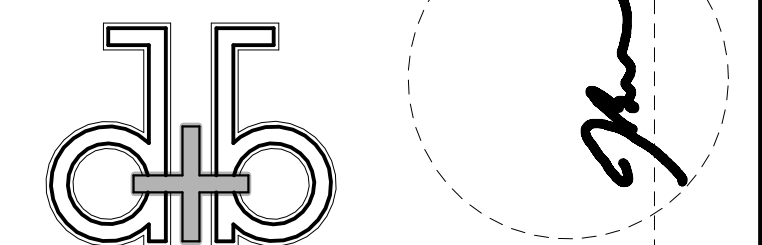
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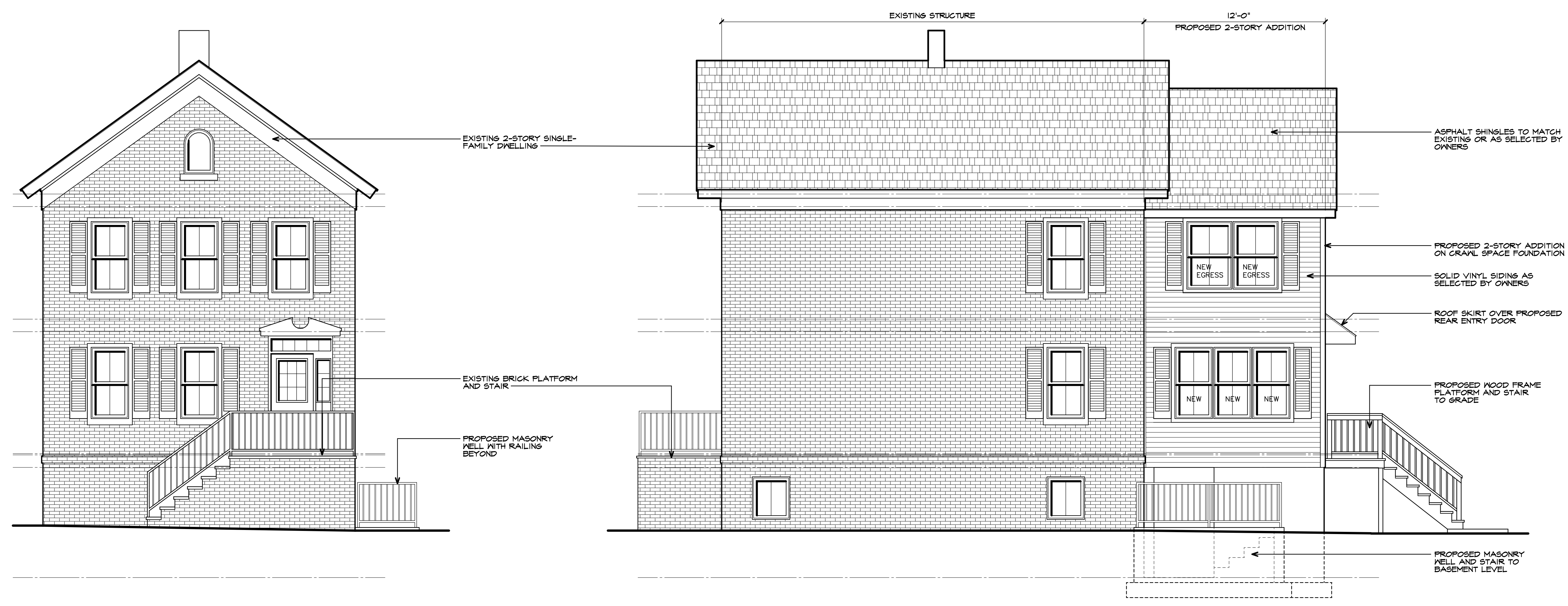
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**19 Halsey Street
Metuchen, NJ 08840**

Project No. 220808	Sheet Name: Existing Elevations
Drawn By: JCB/MJT	D2
Checked By: DD	
Issued: 12-12-22	

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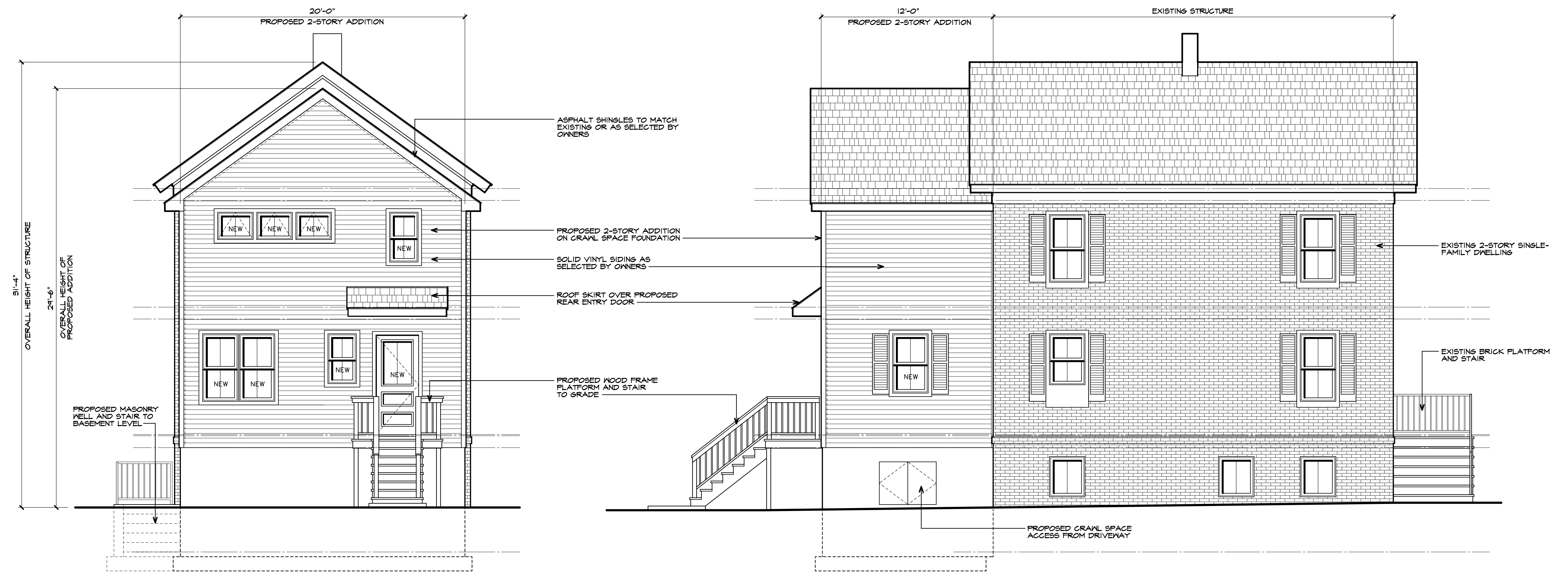
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SCALE: 1/4" = 1'-0"

PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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SCALE: 1/4" = 1'-0"

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