

N/A - NOT APPLICABLE

NEW JERSEY LICENSE NUMBER: 24GE04729700

LOT 68 PROP. PARKING SPACE NUMBER ON 3' HIGH 4"X4" PRESSURE TREATED WOOD POSTS (TYPICAL)

EDGE OF PROPOSED STONE PARKING LOT

THIRD FLOOR: FIRST FLOOR:







3 REVISED PLAN PER BOROUGH PLANNER'S 01/28/24 DSA
2 REVISED PLAN PER BOROUGH PLANNER'S 11/02/23 DSA COMMENTS 11/02/23
1 REVISED PLAN PER BOROUGH PLANNER'S 10/31/23 DSA LETTER DATED 10/27/23
REV. DESCRIPTION DATE BY
DIMENSIONING PLAN
GRAPHIC SCALE 1" = 20'
0 20 40 60
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SITE PLAN PREPARED FOR: MIXED USE
LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118
20 HIGHLAND AVENUE
SITUATED IN: BOROUGH OF METUCHEN MIDDLESEX COUNTY, NEW JERSEY
CAD: 46-65 DATE: 10/18/23 SCALE: 1" = 20'
FILE: 046.0065 DRAWN: DSA SHEET 2 OF 7
LESLIE A. WALKER III, PE DATE PROFESSIONAL ENGINEER NEW JERSEY LICENSE NUMBER: 24GE04729700





- 1. All landscaping plant material are shown in a semi-mature 10. All landscape areas, either newly created or in existing 17. All water applied to planted or lawn areas shall be free size in this plan set. Sizes indicated in Plant List are sizes from impurities harmful to vegetation and applied at a rate areas that require repair shall be provided with a 4" thick of five gallons of water per square yard of plant pit. all minimum topsoil layer if none less than 4" are present and watering is the responsibility of the applicant. shall be temporarily seeding during construction at the 2. The staking layout of all retaining walls, walkways, patio rates and applications as specified in the 'Temporary 18. Backfill material for raised plant beds shall consist of and deck surfaces, irrigation lines, and plantings (where Stabilization Specs' notation of the Soil Erosion and natural loam topsoil, free from subsoil, and shall be applicable) shall be inspected by the Municipal Engineer (or Sediment Control Details within this plan set. If lawns are obtained from an area which has never been stripped. similar agent as applicable) prior to installation. It is the to be provided, seed at the rates and applications as Topsoil shall have been removed from a depth of no more contractor's responsibility to notify the Municipal Engineer specified in the 'Permanent Stabilization Specs' notation of than 1 foot, or less if subsoil is encountered. Topsoil shall (or similar agent as applicable) as to when the work shall the soil erosion and sediment control details within this be of uniform quality, free from hard clods, stiff clay hard plan set. pan, sods, partially disintegrated stone, lime cement, tar residues, chips or any other undesirable material.
- 3. Plant locations shown on this plan are diagrammatic. The final locations of all plant materials shall be determined and approved by the Municipal Engineer (or similar agent as

- 11. All side slopes and bottoms of intermittent water-containing structures (such as grassed waterways or detention basins, if applicable) shall be provided with 6" thick minimum topsoil layers and shall be seeding at the rates and applications as specified in the 'Intermittent Waterways — Permanent Seeding Specs' notation of the Soil Erosion and Sediment Control Details within this plan set.
- 12. The Contractor shall lime, fertilize and mulch all landscape areas at the rate specified by the Soil Erosion and Sediment Control Permanent Stabilization notes within this plan set.
- 13. It is the Contractor's responsibility to determine soil acidity levels of the underlying soils of the new lawn areas. A PH level of 4 or less will require a new 12" minimum layer of soil with a PH of 5 or greater before the topsoil is applied. The acidic underlying soil shall either be ameliorated by scarifying 12" of the soil and adding limestone until the soil is no longer acidic or a new layer will be applied on top, which ever is most applicable.
- 14. No soil shall be placed atop the planting rootball and the root collar must be exposed. Wire baskets and the top  $\frac{1}{3}$ of jute burlap are to be removed prior to backfilling the planting pit. Any material other than jute burlap must be removed completely. The sub-soil should not be disturbed directly under the root ball platform.
- 15. The Contractor shall fertilize all landscaping plant material with 5-10-5 fertilizer, or approved equal, at the rate specified by the manufacturer.
- 16 All tree pits, plant beds and ground cover areas shall be mulched to a 3-inch depth (after settlement) with shredded hardwood mulch. Shredded hardwood mulch with a maximum of one (1) inch of mulch shall be placed within twelve (12) inches of tree trunks. The mulch should not come in contact with the trunk or the root collar. The mulch shall have no leaves, weeds, branches, shavings, twigs over  $\frac{1}{2}$ " diameter, or foreign material such as stones,

- 18. All proposed trees (as applicable) should be provided with anchoring and stakes. Anchoring must be cord made of strong, soft fabric material (NO WIRE). All anchoring and stakes must be removed after one (1) year.
- 19. Areas disturbed by landscape operations shall be graded to match existing. Topsoil and seed as required.
- 20. Provide Tree protection fencing as specified in the Soil Erosion and Sediment Control Details within this plan set.
- 21. Plant material shown in a mass or touching each other shall be allowed to grow together to perform as a screen or hedge. DO NOT PRUNE OR SHEAR INTO INDIVIDUAL FREE-STANDING PLANTS OR TREES!!!
- 22. FALL HAZARD NOTES: All plant materials that are known or suspected to have a Fall Planting Hazard shall be dug, transplanted and installed during the Spring Planting season only!! The following plant species are known to have a Fall Planting Hazard:
  - Acer rubrum & vars. Betula varieties Carpinus varieties Cornus varieties Crataegus varieties Koelreuteria Liquidambar styraciflua Liriodendron tulipifera Magnolia varieties

Platanus acerifolia Prunus - all stone fruits Pyrus – all pears Quercus - all oaks Salix – weeping varieties Styrax japonica Tilia tomentosa Zelkova varieties

- 23. This drawing is to be used for Landscaping development purposes only.
- 24. All landscaping procedures and applications as indicated in this plan set shall be performed in strict compliance with the Standards for Soil Erosion and Sediment Control in New Jersey.

3 REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 12/13/23	01/28/24	DSA
2 REVISED PLAN PER BOROUGH PLANNER'S COMMENTS 11/02/23	11/02/23	DSA
1 REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 10/27/23	10/31/23	DSA
		ΒY
LANDSCAPING P	LAN	
& DETAILS		
GRAPHIC SCALE 1"	= 20'	
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ALL RIGHTS RESERVED. NO REPRODUCT	TION OR USE N WHOLE BY	E OF ANY
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ENGINEERING GROU	JP, IN(	<b>C.</b>
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LAND PLANNING • LANDSCAPE AF HYDRAULIC & HYDROLOGIC ENG		E
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EDISON, NEW JERSEY 088 PHONE: (732) 205-8288 • FAX: (73	337 2) 719-7208	
www.meridianegi.com • info@meric	lianegi.com	
SITE PLAN		
PREPARED FOR:		
PREPARED FOR: MIXED USE		
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN	BLOCK 1	18
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVE	I BLOCK 1 NUE	18
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVEN SITUATED IN: BOROUGH OF METLICH	I BLOCK 1 NUE	18
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVEN SITUATED IN: BOROUGH OF METUCHI MIDDLESEX COUNTY, NEW J	I BLOCK 1 NUE EN IERSEY	18
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVEN SITUATED IN: BOROUGH OF METUCHI MIDDLESEX COUNTY, NEW J CAD: 46-65 DATE: 10/18/23 SC	I BLOCK 1 NUE EN JERSEY CALE: 1" =	<b>18</b>
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVEN SITUATED IN: BOROUGH OF METUCHI MIDDLESEX COUNTY, NEW J CAD: 46-65 DATE: 10/18/23 SC FILE: 046.0065 DRAWN: DSA SF	I BLOCK 1 NUE EN JERSEY CALE: 1" = HEET 4 OF	<b>18</b> 20' 7
PREPARED FOR: MIXED USE LOTS 15-17, 18.05, 40.02 & 44 IN 20 HIGHLAND AVEN SITUATED IN: BOROUGH OF METUCHI MIDDLESEX COUNTY, NEW J CAD: 46-65 DATE: 10/18/23 SC FILE: 046.0065 DRAWN: DSA SH	I BLOCK 1 NUE EN VERSEY CALE: 1" = HEET 4 OF	18 20' 7

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NUMBER: 24GE04729700

PLANT LIST PLANTING SIZE REMARKS BOTANICAL NAME COMMON NAME MATURE SIZE B&B 40' Tall X 12' Wide 2.5" Cal. Acer rubrum 'JFS-KW78' Armstrong Gold Maple Tree B&B 25-35' Tall X 8-12' Wide Pyrus Calleryana 'Capital' Capital Pear Tree 2.5" Cal. B&B 10-15' Tall X 3-4' Wide 6'Tall Emerald Green Arborvitae B&B 5' Tall X 3-4' Wide Winter Gem Boxwood 24" High B&B 4' Tall X 4' Wide llex glabra 'Compacta' 36" High Compact Inkberry #1 Cont. 18-24" Tall X 18-24" Wide Liriope muscari Big Blue Lilyturf 12" High Taxus cuspidata 'Densiformis' Dense Japanese Yew 36" High B&B 3-4' Tall X 4-6' Wide

ARBORVITAES MAY BE SUBSTITUTED AT A 3:1 RATIO FOR PROPOSED TREES TO ENHANCE VISUAL SCREENING AROUND THE BACK PARKING AREA, AT THE DIRECTION OF THE BOARD



![](_page_5_Figure_0.jpeg)

NEW JERSEY LICENSE NUMBER: 24GE04729700

# PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

### (reference: Section 4-1, The Standards for Soil Erosion and Sediment Control in NJ, 7th Edition, January 2014)

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
- B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
- C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
- D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways

## Seedbed Preparation

Site Preparation

- A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://njaes.rutgers.edu/county/). Fertilizer shall be applied at a rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- B. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed
- is prepared. C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed reparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

- Seeding A. Select a mixture from Table 4-3 or use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested. 1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once. Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85° F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results. 3. Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85°F. Many grasses become active at 65° F. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool
- season grasses. B. Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed
- preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil. C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site
- will be maximized. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Shortfibered mulch may be applied with a hydroseeder following seeding (also see Section 4-Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth.

## Mulching

Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. Refer to the detail "EXPOSED SOILS STABILIZED WITH MULCH ONLY DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT" for application specifications.

#### Irrigation (where feasible) If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch applied up to twice a day until vegetation is well established). This is especially true when seedings are made in abnormally dry or hot weather or on droughty sites.

## Topdressing

Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.

#### Establishing Permanent Vegetative Stabilization The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other

management are essential. The seed application rates in Table 4-3 are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

## TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

(reference: Section 7-1, The Standards for Soil Erosion and Sediment Control in NJ, 7th Edition, January 2014) Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg. 19-1. B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42. C. Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).

Seedbed Preparation A. Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per arcs of 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. <u>Limestone rates</u> shall be established by soil testing only. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes. B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment.

The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared. . If traffic has left the soil comp D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1. . Seeding

#### Select seed from recommendations in table below. TEMPORARY SEEDING SPECIFICATIONS (PLANT HARDINESS ZONE 6B):

	-	•	
COOL SEASON GRASSES			
SEED SELECTIONS	SEEDING RATES	SEEDING DEPTH	OPTIMAL PLANTING PERIODS
1. PERENNIAL RYEGRASS	100 LBS./AC (1.0 LBS./1,000 S.F.)	0.5" (1" IN SANDY SOILS)	MARCH 1 TO MAY 15 & AUGUST 15 TO OCTOBER 1
2. SPRING OATS	86 LBS./AC (2.0 LBS./1,000 S.F.)	1.0" (2" IN SANDY SOILS)	MARCH 1 TO MAY 15 & AUGUST 15 TO OCTOBER 1
3. WINTER BARLEY	96 LBS./AC (2.2 LBS./1,000 S.F.)	1.0" (2" IN SANDY SOILS)	AUGUST 15 TO OCTOBER 1
4. ANNUAL RYEGRASS	100 LBS./AC (1.0 LBS./1,000 S.F.)	0.5" (1" IN SANDY SOILS)	MARCH 15 TO JUNE 1 & AUGUST 1 TO SEPTEMBER 1
5. WINTER CEREAL RYE	112 LBS./AC (2.8 LBS./1,000 S.F.)	1.0" (2" IN SANDY SOILS)	AUGUST 1 TO NOVEMBER 15
WARM SEASON GRASSES			
SEED SELECTIONS	SEEDING RATES	SEEDING DEPTH	OPTIMAL PLANTING PERIODS
6. PEARL MILLET	20 LBS./AC (0.5 LBS./1,000 S.F.)	1.0" (2" IN SANDY SOILS)	MAY 15 TO AUGUST 15
7. MILLET (GERMAN OR HUNGARIAN)	30 LBS./AC (07 LBS./1,000 S.F.)	1.0" (2" IN SANDY SOILS)	MAY 15 TO AUGUST 15

1. Seeding rate for warm season grass, selections 5 - 7 shall be adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a

germination test result. No adjustment is required for cool season grasses. . May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated

3. Plant Hardiness Zone. (see figure 7-1, pg. 7-4)

specifications.

Conventional Seeding. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled hydroseeded or cultipacked seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil. Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed rmination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, D. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be

. Mulching Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier

the detail "EXPOSED SOILS STABILIZED WITH MULCH ONLY DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT" for application

![](_page_6_Figure_33.jpeg)

FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES.

DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT". CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR LICENSED TREE EXPERT.

TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED WITH A GOOD GRADE OF TREE

TREE PROTECTION FENCING DETAIL N.T.S.

### PERMANENT STABILIZATION SEED MIXTURES (FROM TABLE 4-3, SSESCNJ) SITE CONDITIONS

# COMMERCIAL USE

USDA PLANT HARDINESS ZONE 6B

NOTES SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BR USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE OF THE SEEDED AREA AND MOWED ONCE. GRASS SEED MIXTURE CHECKED BY THE STATE SEED ANALYST, NEW JERSEY DEPARTMENT OF AGRICULTURE, TRENTON, NEW JERSEY, WILL ASSURE THE PURCHASER THAT THE MIXTURE OBTAINED IS THE MIXTURE ORDERED, PURSUANT TO THE N.J. STATE SEED LAW, NJSA 4:8-17.13 ET. SEQ.

### A - INTENSIVE MOWING, (2-4 DAYS), FERTILIZATION, LIME, PEST CONTROL AND IRRIGATION B - FREQUENT MOWING, (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL PERIODIC MOWING, (4-7 DATS), OCCASIONAL FERTILIZATION, LIME AND WED CONTROL PERIODIC MOWING, (7-1 DAYS), OCCASIONAL FERTILIZATION AND LIME INFREQUENT OR NO MOWING, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT

PERMANENT SEEDING SPECIFICATIO	NS:
MIXTURE 15 (FOR LAWN AREAS)	
SEED MIXTURE	PLANTING RATES
HARD FESCUE PERENNIAL RYEGRASS KENTUCKY BLUEGRASS (BLEND)	120 LBS./AC (2.7 LBS./1,000 S.F.) 30 LBS./AC (0.7 LBS./1,000 S.F.) 40 LBS./AC (0.9 LBS./1,000 S.F.)
OPTIMAL PLANTING PERIODS:	ACCEPTABLE PLANTING PERIODS:
MARCH 1 TO APRIL 30 OR AUGUST 15 TO NOVEMBER 15	MAY 1 TO AUGUST 14
MAINTENANCE LEVEL: (A-C)	
REMARKS: TYPICALLY A COOL SEAS	ON MIXTURE, INTENDED FOR GENERAL

DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT

FOR TEMPORARY STABILIZATION - 2.0 TO 2.5 TONS/ACRE (90 TO 115 LBS/1,000 SF) FOR PERMANENT STABILIZATION - 1.5 TO 2.0 TONS/ACRE (70 TO 90 LBS/1,000 SF)

PEG, CREATING A CRISSCROSS PATTERN. DOUBLE OR TRIPLE WRAP EACH PEG AS TO SECURE THE TWINE. REFER TO DETAIL BELOW.

OTHER SUITABLE MATERIALS AND ANCHORING METHODS MAY BE USED, BUT ONLY AT THE DIRECTION AND APPROVAL OF THE SOIL CONSERVATION DISTRICT.

![](_page_6_Picture_49.jpeg)

![](_page_6_Figure_50.jpeg)

ing is required on all seeding. Multich will protect against erosion before grass is established and will promote faster and earlier is the existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. Refer to **PLACEMENT AND ANCHORING DETAIL OF BALE SEDIMENT BARRIERS** 

![](_page_6_Figure_52.jpeg)

![](_page_6_Figure_53.jpeg)

ESTIMATED SEQUE	NCE OF CONSTRUCTION	Samaya Arts Academy DBA Thate Art LLC) Assisi Roman Cath	cis of Boy Scout Troop 17 Elm Ave Networken Inn Networken Inn	Church
THE SEQUENCE OF CONSTRUCTION SHALL E	3E AS FOLLOWS (SEE NOTE BELOW) DURATION	Elm Court Dental	Orthodontic Specialist PC: Donato Jr Michael	SITE
CONTRACTOR TO PROVIDE WRITTEN NOTIFIC	ATION TO FREEHOLD SOIL CONSERVATION	Associates: Jenkins Campbell School Field	Cathedral School len House Metuchen Borough Public Library	Higard Ne
1. THE EXISTING SITE IS FULLY DEVELOPEI	D AND THEREFORE DOES NOT	Campbell School	Dvorak & ssocietes	in the second second
REQUIRE TRACKING PREVENTION. EXISTI BE THE CONSTRUCTION VEHICLE POINTS	NG DRIVEWAYS WHERE SHOWN SHALL S OF ENTRY. PAVED DRIVEWAY AND DT OF ENTRY. PAVED DRIVEWAY AND	etuchen	The state of the state of the Line	Dic Brand Evolution
PROJECT DURATION. ANY SOIL DISTURI	ANCE (SUCH AS AREAS OF PAVEMENT	settlet St	s thank the function of the second se	
IMMEDIATELY, PROVIDE SEDIMENT BARRI ARE NO INLETS, EXISTING OR PROPOSE	D, WITHIN ON PLANS. NOTE THERE D, WITHIN OR NEAR LIMIT OF DISTURBANCE. CONTINUOUS	School <sup>St</sup> Costello Runyon	Chase Bank, HW Bagel Pantry	Per Hilleide Ave
2. REMOVE DESIGNATED FEATURES FROM	SITE. STRIP TOPSOIL FROM THE PROPOSED	Funeral Home V 2007 RAZOR Barbers	SHARP shop & Shave	
MINOR GRADING AREAS. IF WARRANTED APPLICABLE). APPLY TEMPORARY SEED	, PROVIDE TOPSOIL STOCKPILE (WHERE ING TO TOPSOIL STOCKPILE AND PROVIDE	Margaret's garden	Hilleide Ave Friends of the Family Learning Center	
3. REMOVE PAVEMENT AND EXISTING SITE	FFATURES BEHIND EXISTING		Manachi Mexican Restaurant Mexican SS Pennetiventi	Hope S. Paul, MS
BUILDING. CONSTRUCT BUILDING EXPAN: PLANS BY OTHERS.	SION AS SHOWN ON ARCHITECTURAL 7 MONTHS	Metuchen Corner Deli	Metuchen	oyterian Metuchen FPC Food Pantry
4. HAND DIG TRENCH ON WEST SIDE OF E	BUILDING, STOCKPILE EXCEED SOIL. INSTALL	Woodmont Metro Apartments at.	Metuchen Station Lot T	
5. INSTALL ALL NEW CURB. BLOCK WALL.	SIDEWALK, CONCRETE PADS. 3 WEEKS	e roods Market	O Woodminde Ave	660 Woodbridge Ave
6. CONSTRUCT PROPOSED CONCRETE WAL	KWAYS AND BASE PADS AS SHOWN. 3 WEEKS			
7. INSTALL LANDSCAPING AND SITE LIGHTI	NG. 4 WEEKS	KET	MAP	SCALE: $1'' = 400'$
8. PROVIDE PERMANENT VEGETATIVE STAB (SUCH AS REMOVED STOCKPILE AREAS)	ILIZATION TO REMAINING AREAS ) AND REMOVE ALL SOIL EROSION AND	<b></b>		
SEDIMENT CONTROL MEASURES UPON C	OMPLETION OF ALL DISTURBANCE. 1 WEEK	NOTES:		
PROVIDE/REPAIR ALL NECESSARY PAVE	IMENT MARKINGS.	THIS PROJECT	IS EXEMPT FROM SOIL COMP	PACTION TESTING
TOTAL ESTIMATED CONSTRUCTION TIME:	10 MONTHS AND 3 WEEKS	AREA AS IT I	S DESIGNATED AS METROPOLI	TAN PLANNING
NOTES:		MAP AND THE	E PROJECT SITE IS PREVIOUSL	Y DEVELOPED.
DEMONSTRATED AS CLOSELY AS POSSIBLE. AFOREMENTIONED ITEMS TO BE DETERMINED	ACTUAL SEQUENCE OF THE CONSTRUCTION OF THE D BY FIELD CONDITIONS AND AT THE DISCRETION OF THE	ADDITIONALLY	•	
CONSTRUCTION MANAGER.	ICTION IS DEPENDENT ON THE MADILET	CONTAIN ALL     DISTURBANCE	DEBRIS AND SEDIMENT WITHIN	N THE LIMIT OF
* ACTUAL DURATION OF BUILDING CONSTRU	JCHON IS DEPENDENT ON THE MARKET.	OF DISTURBAN	NCE SHALL BE CLEANED UP I	MMEDIATELY AND
		ERUSIVE CONL	DITION MUST BE IDENTIFIED AI	ND REMEDIATED.
PROVIDE HAYBALE	OR SILT FENCE	Γ		FEET
SEDIMENT BARRIER	ALONG THE		TOE-OF-SLOPE	AVEMENT, DO NOT STAKE)
LIMIT OF DISTURBA	NCE LIME WHERE			
SHOWN, CONTINUOU	JSLY MAINTAIN			
AND REPAIR AS NE	CESSARY		TOPSOIL STOCKPILE AREA (OR S	
			R STANDARDS, COMPLETELY AND	CONSTANTLY
USE EXISTING			TO, BE, DETERMINED PER, FIELD C	
GRAVEL DRIVEWAY				
FOR CONSTRUCTION				
VEHICLE ACCESS -			TOPSOIL/STORA	GE
CONTRACTOR IS	(reference: Freehold Soil Conservation District, http://www.freeholdscd.org/)	ST	OCKPILE DETAIL (IF AI	PPLICABLE)
RESPONSIBLE FOR	<ol> <li>The Freehold Soil Conservation District shall be notified forty-eight (48) h soil disturbing activity.</li> </ol>	nours in advance of any	NTS	
PREVENTING	2. All Soil Erosion and Sediment Control practices are to be installed prior to	o soil disturbance, or in		
SEDIMENT FROM	their proper sequence, and maintained until permanent protection is establishe 3. Any changes to the Certified Soil Erosion and Sediment Control Plans wil	ed. I require the submission		
EXITING THE SITE,	of revised Soil Erosion and Sediment Control Plans to the District for re-certifica must meet all current State Soil Erosion and Sediment Control Standards.	ation. The revised plans		
SWEEP DAILY AND	<ol> <li>N.J.S.A 4:24-39 et. Seq. requires that no Certificates of Occupancy be issu determines that a project or portion thereof is in full compliance with the Certi</li> </ol>	ied before the District fied Plan and Standards		
AS NECESSARY	for Soil Erosion and Sediment Control in New Jersey and a Report of Complianc written request from the applicant, the District may issue a Report of Compliar	e has been issued. Upon ice with conditions on a		
	compliance with the sequence of development and temporary measures for so control have been implemented, including provisions for stabilization and site v	il erosion and sediment work.		
7	5. Any disturbed areas that will be left exposed more than sixty (60) days, a	nd not subject to		
Ξ	establishment of temporary cover, the disturbed areas will be mulched with str material, at a rate of 2 to 2 $\frac{1}{2}$ tons per acre, according to the Standard for Stabi	raw, or equivalent lization with Mulch Only.		
	6. Immediately following initial disturbance or rough grading, all critical are soil stockniles, steep slopes and roadway embantments) will receive temporar	as subject to erosion (i.e.		
	with straw mulch or a suitable equivalent, and a mulch anchor, in accordance v	vith State Standards.		
LIMIT OF	<ol> <li>A sub-base course will be applied immediately following rough grading al improvements to stabilize streets, roads, driveways, and parking areas. In areas present, the sub-base shall be installed within fifteen (15) days of the preliming</li> </ol>	nd installation of s where no utilities are irv grading.		
DISTURBANCE	8. The Standard for Stabilized Construction Access requires the installation	of a pad of clean crushed		
THORE	stone at points where traffic will be accessing the construction site. After interi- individual lots require a stabilized construction access consisting of one inch to for a minimum length of ten feet (10 <sup>o</sup> ) equal to the lot entrance width. All othe	or roadways are paved, two inch (1" – 2") stone r access points shall be	3 REVISED PLAN PER BOROUGH PLA	ANNER'S 01/28/24 DSA
CORATIVE 145 S.F.)	blocked off.		2 REVISED PLAN PER BOROUGH PLA	ANNER'S 11/02/23 DSA
	<ol> <li>All soil washed, dropped, spilled, or tracked outside the limit of disturbar right-of-ways will be removed immediately.</li> </ol>	nce or onto public	1 REVISED PLAN PER BOROUGH PLA	ANNER'S 10/31/23 DSA
PAD (SEE DETAIL)	10. Permanent vegetation is to be seeded or sodded on all exposed areas wit final grading.	thin ten (10) days after	REV. DESCRIPTION	DATE BY
S LF OF 5" FACE , CK CURB	11. At the time that site preparation for permanent vegetative stabilization i	s going to be	SOIL EROSION AN	D SEDIMENT
	ground cover shall be removed or treated in such a way that it will permanenth conditions and render it suitable for vegetative ground cover. If the removal or	y adjust the soil r treatment of the soil will	CONTROL DI AN	
N.	not provide suitable conditions, non-vegetative means of permanent ground st employed.	abilization will have to be	CONTROL PLAN	& DETAILS
×	12. In accordance with the Standard for Management of High Acid Producing pH of 4 or less or containing iron sulfides shall be ultimately placed or buried w	s Soils, any soil having a ith limestone applied at	GRAPHIC SCALE	1" = 20'
3 LF OF EXIST. CHAIN ON TOP OF WALL	the rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered wi settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be plant	ith a minimum of 12" of ted.		
	<ol> <li>Conduit Outlet Protection must be installed at all required outfalls prior t becoming operational.</li> </ol>	to the drainage system		
ASEMENI FOR ETAINING WALL PER 3 1565, PG 238	14. Unfiltered dewatering is not permitted. Necessary precautions must be t	aken during all		
× 106.22	accordance with the Standard for Dewatering.	s asca must De III	ALL RIGHTS RESERVED. NO REPI	RODUCTION OR USE OF
₩0.01- ^ ♠) _	15. Should the control of dust at the site be necessary, the site will be sprink wet, temporary vegetative cover shall be established or mulch shall be applied Standard for Dust Control	led until the surface is as required by the	PROCESS WITHOUT PRIOR WRI	TTEN AUTHORIZATION
~	Standard for Dust Control. 16. Stockpile and staging locations established in the field shall be placed wif	thin the limit of	FROM MERIDIAN ENGINEER	RING GROUP, INC.
BUMPER BLOCKS AND	disturbance according to the certified plan. Staging and stockpiles not located v disturbance will require certification of a revised Soil Erosion and Sediment Cor	within the limit of htrol Plan. Certification of		
	5,000 square feet is disturbed.	ies if an area greater than		
4 <del>05</del>	17. All soil stockpiles are to be temporarily stabilized in accordance with Soil Control note #6.	Erosion and Sediment		
DECORATIVE STONE.	<ol> <li>The property owner shall be responsible for any erosion or sedimentatio stormwater outfalls or offsite as a result of construction of the project.</li> </ol>	n that may occur below		
CH AND RE-LAY SECTION 'B')	Freehold Soil Conservation District			ROUP, INC.
×104.23	phone: (732) 683-8500 fax: (732) 683-9140		CIVIL ENGINEERING • 1	LAND SURVEYING
	email: info@freeholdscd.org		LAND PLANNING  LANDSC HYDRAULIC & HYDROLOG	CAPE ARCHITECTURE
	JSE EXISTING PAVED DRIVEN		ENVIRONMENTAL & EROSION C	CONTROL ENGINEERING
N 🖉	FOR CONSTRUCTION VEHICLE		1199 AMBOY AVENUE EDISON, NEW JERS	E, SUITE 1D SEY 08837
	ACCESS - CONTRACTOR IS		PHONE: (732) 205-8288 • F www.meridianegi.com • infr	-AX: (732) 719-7208 o@meridianeqi.com
×103.13	RESPONSIBLE FOR PREVENTIN	NG	SITE PLAT	N
ANTK	SEDIMENT FROM EXITING THE	SITE,	PREPARED F	
	SWEEP DAILY AND AS NECES	SSARY	MIXED L	JSE
	PORTIONS OF FY DAVENENT	TO	LOTS 15-17, 18.05, 40.02 &	& 44 IN BLOCK 118
202.01 <sup>+</sup>	3E REMOVED FINAL GRADE		20 HIGHLAND	AVENUE
C. CURB	AREA AND PERMANENTLY			
	STABILIZE IMMEDIATELY AFTE	R	MIDDLESEX COUNTY,	NEW JERSEY
IMIT OF EXISTING AVEMENT REMOVAL		<b>I</b>	CAD: 46-65 DATE: 10/18/	23 SCALE: 1" = 20'
			FILE: 046.0065 DRAWN: DSA	A SHEET 7 OF 7
OVERAL	L DISTURBANCE AREA = $\pm 0$	.41 ACRES		
NOTE: THIS	PROJECT IS LOCATED IN	ZONE 68"	1 HANY	01/28/24
		)	LESLIE A. WALKER II	I, PE DATE

SOIL EROSION AND SEDIMENT CONTROL PLAN - SHEET 1 OF 1

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NUMBER: 24GE04729700