

ADDITION & ALTERATIONS FOR JOHNSON/ZIMMERMAN RESIDENCE 54 MYRTLE AVENUE, METUCHEN, NJ

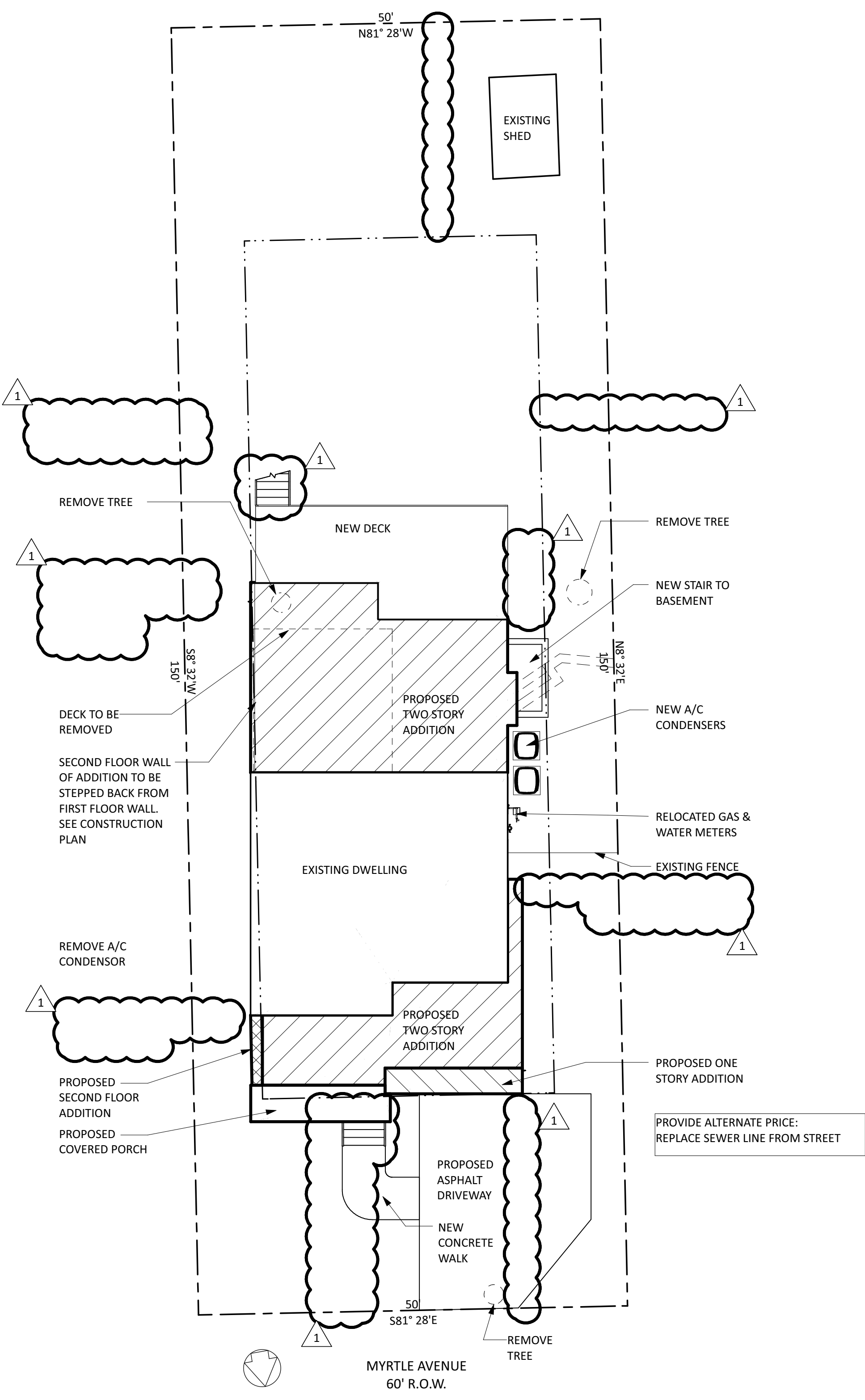
| ZONING INFORMATION | | | |
|--|--------------------------------|------------|---------------|
| BLOCK: | 215 | LOT: | 24 |
| USE GROUP: | R 5- SINGLE FAMILY RESIDENTIAL | ZONE: | R-2 |
| CONSTRUCTION CLASSIFICATION: | 5B | | |
| SEE CIVIL ENGINEER DRAWINGS FOR ZONING INFORMATION | | | |
| NEW VOLUME | | | 39,624 CU. FT |
| FLOOR AREA CALCULATIONS | | | |
| | EXISTING | ADDITION | TOTAL |
| SECOND FLOOR | 488.6 SF | 1,200.8 SF | 1,689.4 SF |
| FIRST FLOOR | 794.7 SF | 589.4 SF | 1,384.1 SF |
| TOTAL | 1,283.3 SF | 1,790.2 SF | 3,073.5 SF |
| * DENOTES EXISTING NON-CONFORMING | | | |
| ** DENOTES VARIANCE REQUIRED | | | |

| DRAWING SYMBOLS | |
|---------------------|------------------------------------|
| DRAWING TAGS | |
| | ELEVATION REFERENCE DRAWING NUMBER |
| | SECTION REFERENCE DRAWING NUMBER |
| | DETAIL REFERENCE DRAWING NUMBER |
| WALL TYPES | |
| | EXISTING, TO REMAIN |
| | EXISTING, TO BE REMOVED |
| | NEW WALL CONSTRUCTION |
| | BRICK VENEER |
| | CONCRETE BLOCK |
| | SHEAR WALL. SEE SHEAR NOTES |
| PLAN SYMBOLS | |
| | STRUCTURAL POST |
| | POST ABOVE |
| | NEW BEAM |
| | REVISION TAG |
| | WINDOW SYMBOL |
| | DOOR SYMBOL |

| ABBREVIATIONS: | |
|------------------------------|------------------------------|
| BB = BASE BOARD | MS = MOTION SENSOR |
| BBH = BASEBOARD HEAT | NTS = NOT TO SCALE |
| CAB. = CABINET | PREFAB. = PREFABRICATED |
| CH = COUNTER HEIGHT | PSF = POUNDS PER SQUARE FOOT |
| CL = CENTER LINE | RAD. = RADIATOR |
| CLST = CLOSET | REF. = REFRIGERATOR |
| CMD = CARBON MONOXIDE | R.O. = ROUGH OPENING |
| DETECTOR | SD = SMOKE DETECTOR |
| D.J. = DOUBLE JOIST | SH = SHOWER HEAD |
| DL = DAMP LOCATION | SPECS. = SPECIFICATIONS |
| D.O. = DOUBLE OVEN | TB = TOWEL BAR |
| D.W. = DISHWASHER | TP = TOILET PAPER HOLDER |
| ELEV. = ELEVATION | TR = TOWEL RING |
| EX'G = EXISTING | T.O. = TRIMMED OPENING |
| FURN. = FURNACE | U.C. = UNDER COUNTER |
| GFI = GROUND FAULT INTERRUPT | VTR = VENT THROUGH ROOF |
| G.D. = GARBAGE DISPOSAL | WP = WATER PROOF |
| HWH = HOT WATER HEATER | |
| LIN. = LINEN | |
| MC = MEDICINE CABINET | |
| MICRO. = MICROWAVE | |

- SITE PLAN NOTES:**
- INFORMATION FOR THIS SITE PLAN TAKEN FROM SURVEY DATED 10/20/2021 BY:

PAGE- MUELLER ENGINEERING CONSULTANTS, PC
CATHERINE A. MUELLER, P.E.
#GE44252
P.O. BOX 4619
WARREN, NEW JERSEY 07059
TEL.: 732-805-3979
FAX: 732-805-3978
- SITE WORK NOTES:**
- ALL TREE REMOVAL BY OTHERS. REMOVAL OF STUMPS IN THE AREA OF THE FOUNDATION SHALL BE BY THE GENERAL CONTRACTOR.
 - SEPARATE CONTRACT SHALL BE TAKEN FOR THE DRIVEWAY AND CURBING, PATIO, WALKWAYS AND RETAINING WALLS.
 - THE PLATFORMS, WINDOW WELLS, A/C CONDENSERS & PAD, AND EXTERIOR BASEMENT STAIR SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
 - ALL NEW STORMWATER MANAGEMENT DRYWELLS AND PIPING, ETC ON THE CIVIL ENGINEERING DRAWINGS SHALL BE DONE BY THE GENERAL CONTRACTOR.
 - REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.



1 SITE PLAN
SCALE: 1" = 20'-0"

| DRAWING LIST | |
|--------------|---|
| DWG | TITLE |
| A-1 | GENERAL NOTES, SYMBOLS, SITE PLAN, ZONING CHART |
| A-2 | BASEMENT/ FOUNDATION, FIRST & SECOND FLOOR DEMOLITION PLANS, NOTES |
| A-3 | FOUNDATION/ BASEMENT & FIRST FLOOR CONSTRUCTION PLANS, NOTES |
| A-4 | SECOND FLOOR CONSTRUCTION PLAN, NOTES |
| A-5 | ATTIC & ROOF PLAN |
| A-6 | PLUMBING RISER, WATER RISER & GAS RISER DIAGRAMS, DOOR & WINDOW SCHEDULES |
| A-7 | EXTERIOR ELEVATIONS, NOTES |
| A-8 | EXTERIOR ELEVATIONS |
| A-9 | WALL SECTION, DETAILS, NAILING SCHEDULE |
| A-10 | BASEMENT/ FOUNDATION ELECTRICAL FLOOR PLAN, NOTES |
| A-11 | FIRST, SECOND FLOOR & ATTIC ELECTRICAL PLANS |
| A-12 | FOUNDATION DETAILS, FLITCH BEAM DETAILS, BUILDING SECTIONS |

PROJECT TEAM:
OWNER: MR. JOHNSON & MS. ZIMMERMAN
54 MYRTLE AVENUE
METUCHEN, NJ

ARCHITECT OF RECORD: THEODORA BOYADJIS DESIGNS, LLC
PRINCIPAL: THEODORA BOYADJIS, RA, LEED AP

CODE & REGULATIONS
NEW JERSEY ADMINISTRATIVE CODE SUBCODE 5:23-6 2014
INTERNATIONAL BUILDING CODE - NJ ED., 2018
INTERNATIONAL RESIDENTIAL CODE - NJ ED., 2018
NATIONAL ELECTRICAL CODE, 2017
NATIONAL STANDARD PLUMBING CODE, 2018
INTERNATIONAL MECHANICAL CODE, 2018
INTERNATIONAL ENERGY CONSERVATION CODE - NJ ED., 2018
INTERNATIONAL FUEL GAS CODE, 2018

PROJECT DESCRIPTION:
CONVERT A CAPE COD STYLE HOUSE TO A TWO STORY STYLE HOUSE. CONVERSION INCLUDES A FULL SECOND STORY ADDITION OVER THE FIRST FLOOR FOOTPRINT AND A TWO STORY ADDITION AT THE REAR AND SIDES. FIRST FLOOR TO INCLUDE A RENOVATED KITCHEN, NEW FAMILY ROOM, NEW GARAGE AND RENOVATED DINING ROOM. SECOND FLOOR TO INCLUDE A NEW MASTER SUITE, TWO BEDROOMS AND A BATHROOM. ATTIC TO BE UNFINISHED.

- GENERAL NOTES:**
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF ALL GOVERNING LOCAL, STATE AND FEDERAL CODES, LAWS, REGULATIONS, AND BEST TRADE PRACTICES.
 - THE CONTRACTOR SHALL GIVE ALL NOTICES, OBTAIN ALL PERMITS, LICENSES, CERTIFICATES OF INSPECTION, OF APPROVAL, OF OCCUPANCY AND OTHER SUCH INSTRUMENTS REQUIRED FOR HIS WORK, AND PAY ALL COSTS AND FEES FOR THEM. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR THE CONNECTIONS OF UTILITIES AND PAY THE CHARGES FOR THEM.
 - EXCEPT AS OTHERWISE NOTED, THE CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE NECESSARY REPAIRS OR CHANGES SHALL INCLUDE CORRECTING ANY DEFECTIVE OR INFERIOR WORK AND CORRECTING ALL DAMAGE TO PROPERTY CAUSED BY SUCH WORK OR BY CORRECTING IT.
 - ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT, AT ONCE. NO CHANGE IN PLANS, DETAILS, OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT.
 - MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, STANDARDS OF GOOD WORKMANSHIP AND BEST TRADE PRACTICES, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. THE CONTRACTOR SHALL KEEP THE WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
 - THE CONTRACTOR SHALL LAY OUT HIS WORK AND BE SOLELY RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS AND DIRECTIONS TO ALL PARTIES.
 - SUBSTITUTION OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN IN THE DOCUMENTS SHALL BE MADE ONLY UPON THE APPROVAL OF THE ARCHITECT OR THE OWNER.
 - THE CONTRACTOR SHALL PATCH ALL AREAS WHICH ARE AFFECTED BY THE CONSTRUCTION TO MATCH THE EXISTING OR NEW ADJACENT MATERIALS AND SURFACES.
 - UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
A. COMPLETE SWEEPING OF ALL AREAS, AND THE REMOVAL OF ALL RUBBISH AND DEBRIS
B. REMOVAL OF ALL STAINS AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.

FLOOR LOADS:

| 1. ROOF: | | 4. FIRST FLOOR: | |
|-----------------|--------|-----------------|--------|
| 1.1. LIVE LOAD: | 20 PSF | 4.1. LIVE LOAD: | 40 PSF |
| 1.2. DEAD LOAD: | 12 PSF | 4.2. DEAD LOAD: | 15 PSF |
| 1.3. TOTAL: | 32 PSF | 4.3. TOTAL: | 55 PSF |

| 2. ATTIC: | | 5. DECK: | |
|-----------------|--------|-----------------|--------|
| 2.1. LIVE LOAD: | 20 PSF | 5.1. LIVE LOAD: | 60 PSF |
| 2.2. DEAD LOAD: | 15 PSF | 5.2. DEAD LOAD: | 15 PSF |
| 2.3. TOTAL: | 35 PSF | 5.3. TOTAL: | 75 PSF |

| 3. SECOND FLOOR BEDROOM: | |
|--------------------------|--------|
| 3.1. LIVE LOAD: | 30 PSF |
| 3.2. DEAD LOAD: | 15 PSF |
| 3.3. TOTAL: | 45 PSF |

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NJ: 21A101985000
NY: 039265

CONSULTANTS:

| NO. | REVISION | DATE |
|-----|------------------|------------|
| 1 | CLIENT MEETING | 05.27.2021 |
| 2 | CLIENT MEETING | 06.14.2021 |
| 3 | ISSUE FOR BID | 06.29.2021 |
| 4 | CLIENT MEETING | 09.10.2021 |
| 5 | CLIENT REVIEW | 10.08.2021 |
| 6 | PERMIT SET | 10.21.2021 |
| 7 | ISSUE FOR PERMIT | 11.08.2021 |
| 8 | ISSUE FOR PERMIT | 01.28.2022 |
| 9 | ISSUE FOR PERMIT | 02.16.2022 |
| 10 | REVISION | 07.26.2022 |

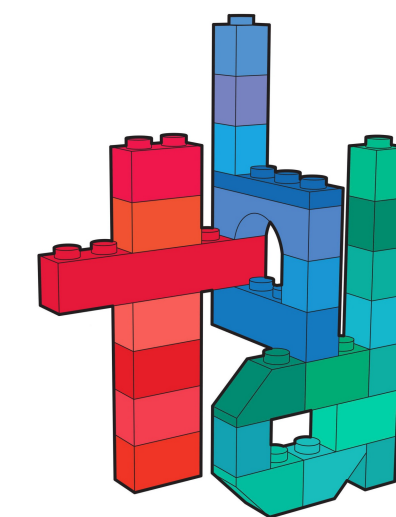
NO. REVISION DATE

**JOHNSON/ZIMMERMAN
RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ**

GENERAL NOTES, SYMBOLS,
SITE PLAN, ZONING CHART

| | |
|------------------|----------------|
| DATE: 05.10.2021 | DRAWN BY: SP |
| SCALE: AS NOTED | CHECKED BY: TB |

A-1



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**JOHNSON/ZIMMERMAN
 RESIDENCE
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 METUCHEN NJ**

**BASEMENT/ FOUNDATION,
 FIRST & SECOD FLOOR
 DEMOLITION PLANS, NOTES**

DATE: 05.10.2021 DRAWN BY: SP
 SCALE: AS NOTED CHECKED BY: TB

A-2

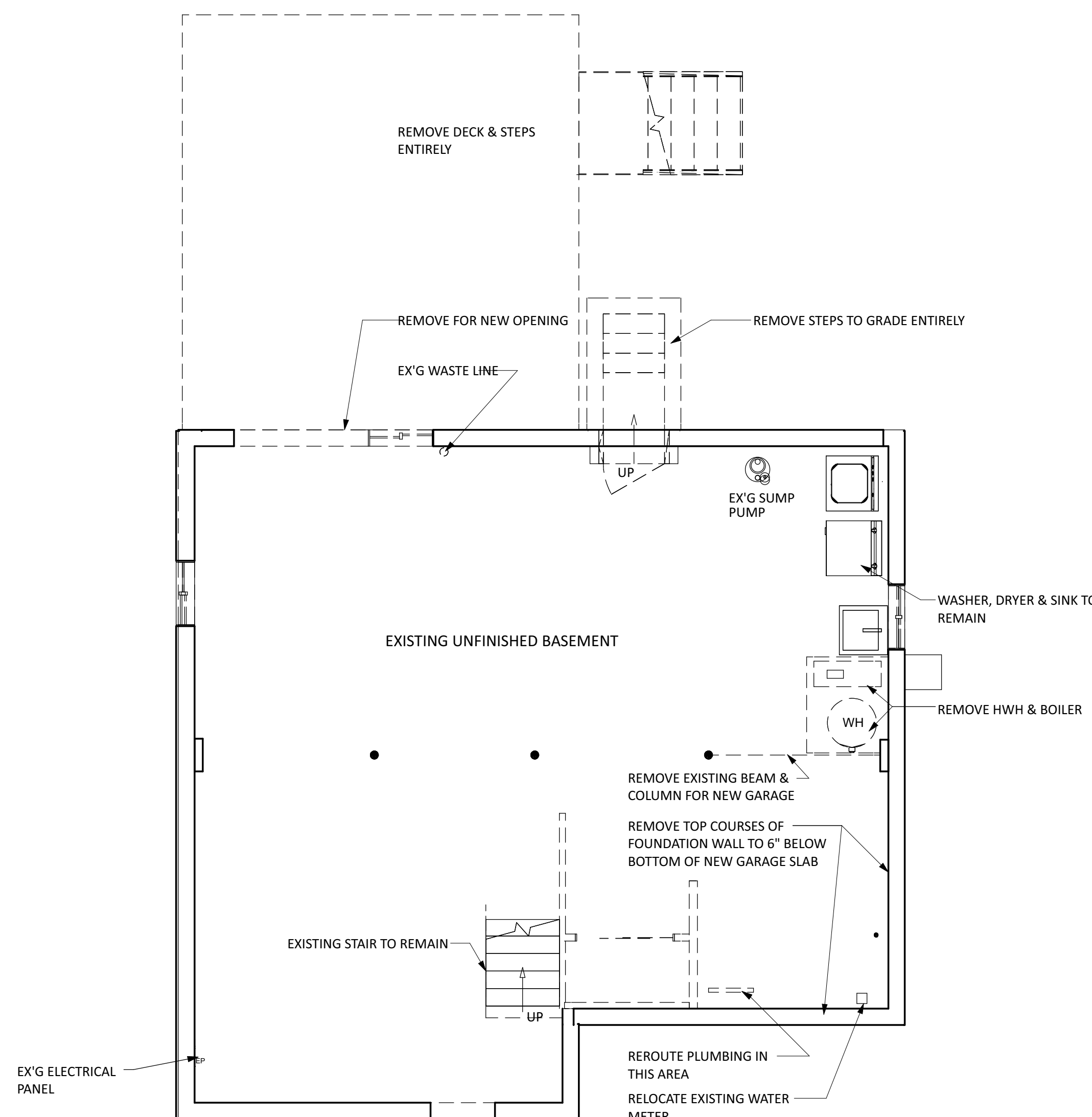
DEMOLITION NOTES:

1. REMOVE ALL INTERIOR FINISHES, INCLUDING WOOD, PLASTER, GYPSUM BOARD, CERAMIC TILE, ETC. ON ALL WALLS INDICATED TO BE REMOVED.
2. CONTRACTOR SHALL PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING BUILDING STRUCTURE.
3. CONTRACTOR SHALL CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING THE EXISTING BUILDING STRUCTURE.
4. DISCONNECT PLUMBING, ELECTRICAL, AND DUCT WORK AS REQUIRED. CAP OFF UNUSED PLUMBING AND PROVIDE A RE-ROUTE FOR NEW WORK.
5. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT NO DAMAGE OCCUR IN ANY OTHER AREA OF THE BUILDING DURING DEMOLITION OF INDICATED AREAS.
6. SPECIAL CARE SHALL BE TAKEN TO PREVENT DIRT, DUST, AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS SHALL BE COVERED AND TAPED.
7. THE WORK SHALL BE KEPT CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S END.
8. CONTRACTOR SHALL CONSULT WITH OWNER/ TENANT PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE, OR OTHER ITEMS THAT THE OWNER/ TENANT MAY WISH TO RE-USE.

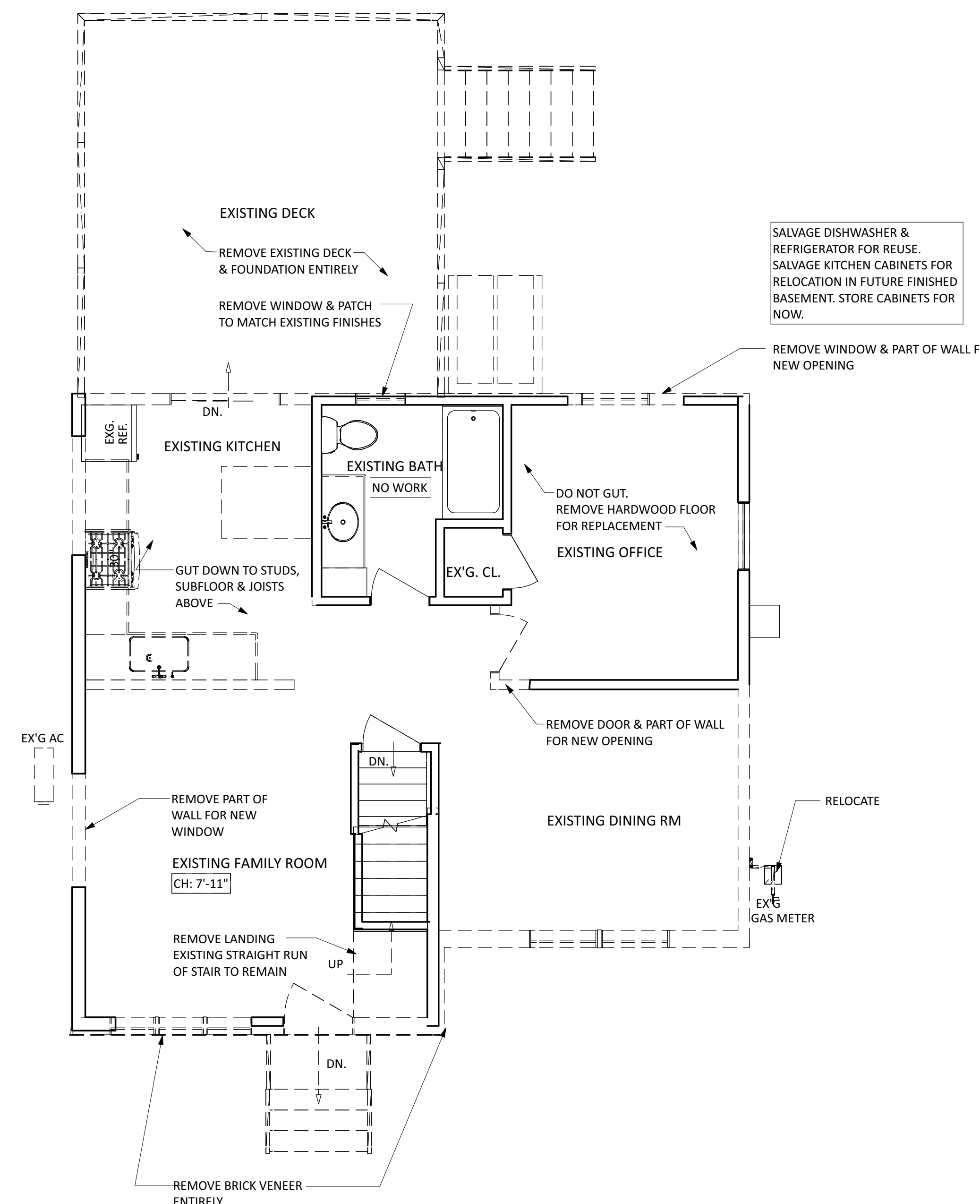
SALVAGE NOTES:

CONSULT WITH OWNER FOR ITEMS TO BE SALVAGED:

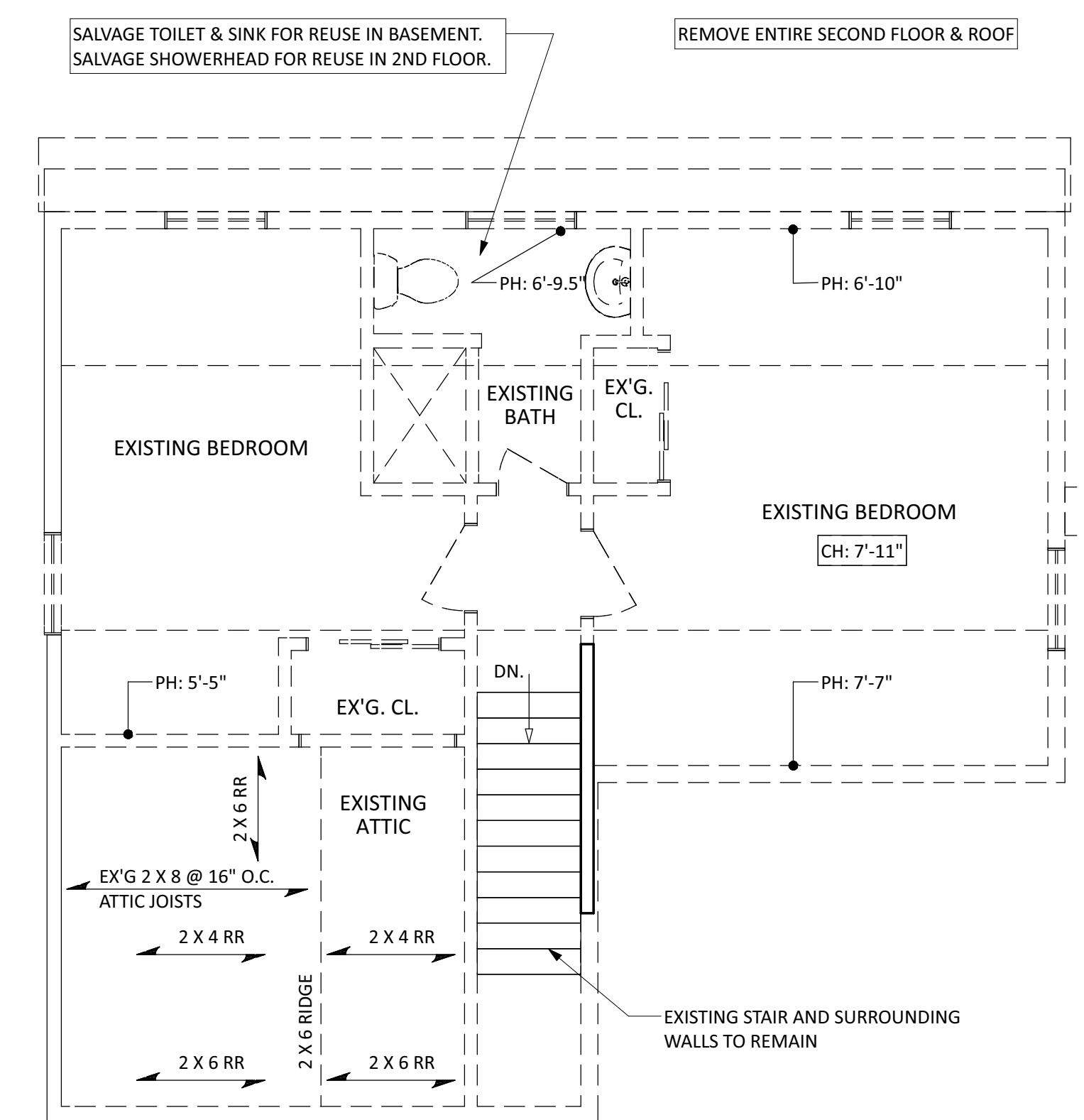
1. WINDOWS
2. FRONT DOOR & HARDWARE
3. DISHWASHER
4. REFRIGERATOR
5. KITCHEN CABINETS
6. SECOND FLOOR BATHROOM FIXTURES
7. HOT WATER HEATER



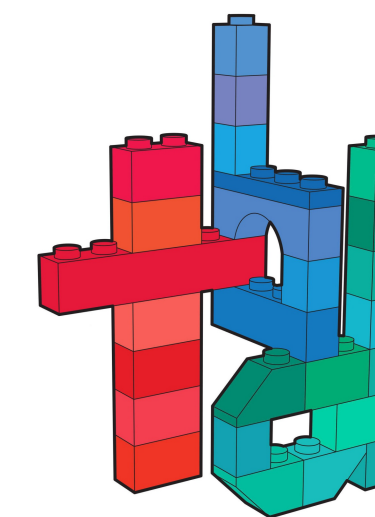
1 BASEMENT/ FOUNDATION DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



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| JOHNSON/ZIMMERMAN RESIDENCE 54 MYRTLE AVENUE METUCHEN NJ | | |
| FOUNDATION/ BASEMENT & FIRST FLOOR CONSTRUCTION PLANS, NOTES | | |

DATE: 05.10.2021 DRAWN BY: SP
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A-3

PROJ. NO.: John21001 3 SHEET OF 12

FOOTING NOTES:

- FOOTINGS SHOWN ARE ASSUMED TO BEAR ON NATURAL UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4,000 P.S.F. NOTIFY ARCHITECT / ENGINEER OF POOR OR UNUSUAL SOIL CONDITIONS BEFORE PROCEEDING. FOOTINGS ARE TO REST ON SUITABLE VIRGIN SUBSOIL OR CONTROLLED COMPACTED FILL.
- FOOTING ELEVATIONS SHOWN ON DRAWINGS ARE ASSUMED TO BE LOCATED ON GOOD BEARING SOIL. ADJUST DEPTH AS INSTRUCTED BY ENGINEER.
- WHERE NECESSARY, FOOTINGS MAY BE STEPPED AT A RATE NOTED NOT TO EXCEED ONE VERTICAL TO THREE HORIZONTAL, (RATIO 1:3). EACH RISE NOT TO EXCEED 16" AND OVERLAPPING MIN. TWICE THE THICKNESS.
- FOOTINGS SHALL BE CENTERED UNDER WALLS OR COLUMNS UNLESS OTHERWISE NOTED ON THE PLAN OR SECTIONS.
- FOOTINGS SIDE FORMS TO BE REMOVED PRIOR TO BACKFILLING.
- EXTERIOR WALL FOOTINGS TO BE MINIMUM 3'-6" BELOW FINISH GRADE FOR FROST PROTECTION.
- NO FOOTINGS ARE TO BE POURED ON FROZEN SOIL.
- POURED FOOTINGS ARE TO BE PROTECTED FROM FREEZING.

CONCRETE NOTES:

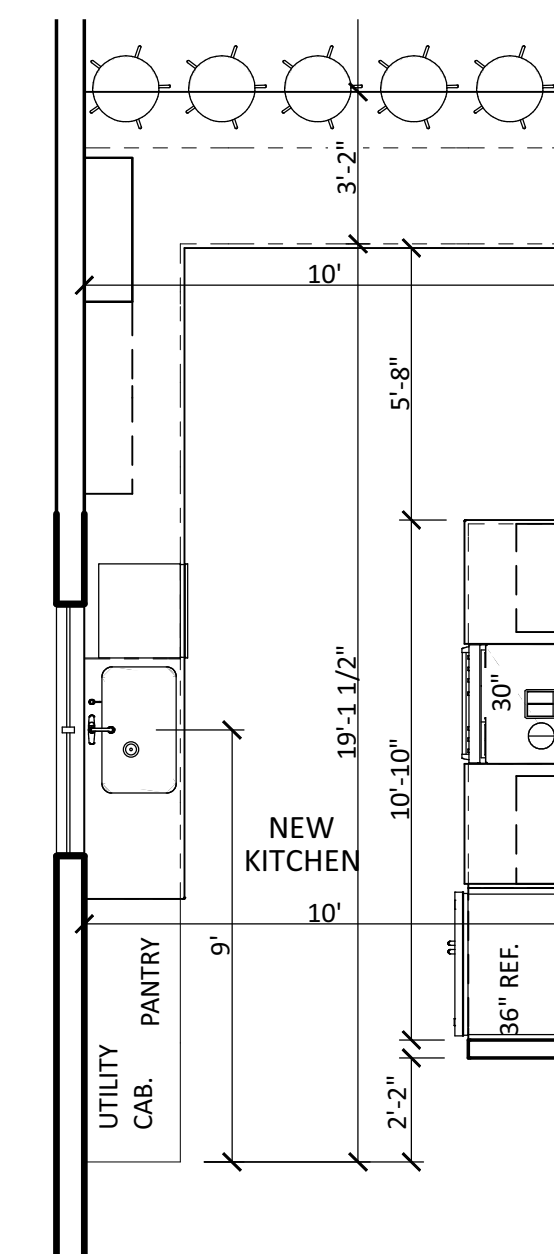
- WALL CONCRETE WORK SHALL CONFORM TO THE LATEST ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AC318."
- CONCRETE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - A. MINIMUM 28-DAY STRENGTH - 3,000 PSI FOR SLABS; 4,000 PSI FOR FOOTINGS.
 - B. AGGREGATE - STONE, 3/4" MAXIMUM.
 - C. CEMENT - TYPE 1, 500 LBS./CU. YD.
 - D. MAXIMUM SLUMP - 3" TO 4".
- ALL CONCRETE WHICH IS EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED. THE AIR ENTRAINING ADMIXTURE SHALL BE AT THE MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE WHICH HAS AN AIR CONTENT OF 5% TO 7%. THE AIR ENTRAINING ADMIXTURE SHALL CONFORM TO ASTM C260.
- A CHLORIDE-FREE ACCELERATING ADMIXTURE SHALL BE USED IN ALL CONCRETE WHICH IS PLACED AT TEMPERATURES BELOW 50°F. THE ADMIXTURE SHALL CONFORM TO ASTM C494.
- FOR TEMPERATURE BELOW 40°F, CONCRETE WORK SHALL BE PROTECTED BY WIND BREAKS, CURING COMPOUNDS, AND BLANKET COVERS IN ORDER TO MAINTAIN THE CONCRETE IN-PLACE AT TEMPERATURES OF AT LEAST 50°F FOR FIVE DAYS.
- THE CONTRACTOR SHALL CONSOLIDATE THE PLACED CONCRETE WITH MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND-SPADING, RODDING, OR TAMPING.
- BASEMENT SLAB: 4" CONC. SLAB (4,000 P.S.I.) W/2.9 x 2.9 x 4 x 4 WWF ON 6 MIL POLYETHYLENE VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE. SEPARATE SLAB FROM END WALL WITH 1/2" FIBER FORM BOARD AND SEALANT.
- GARAGE SLAB: 4" CONC. SLAB (4,000 P.S.I.) WITH W/2.9 x 2.9 x 4 x 4 WWF ON 6 MIL POLYETHYLENE VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE REPLACE ALL OVERDIG WITH 95% COMPACTED GRANULAR FILL. PITCH 1/4" PER FOOT MINIMUM TOWARD OVERHEAD DOORS.
- THE MAXIMUM AREA BETWEEN CONTROL JOINTS SHALL BE 250 SQ. FT. WITH A MAXIMUM SIDE OF 20'-0". PROVIDE CONTROL JOINTS AT COLUMN LOCATIONS.

REINFORCING NOTES:

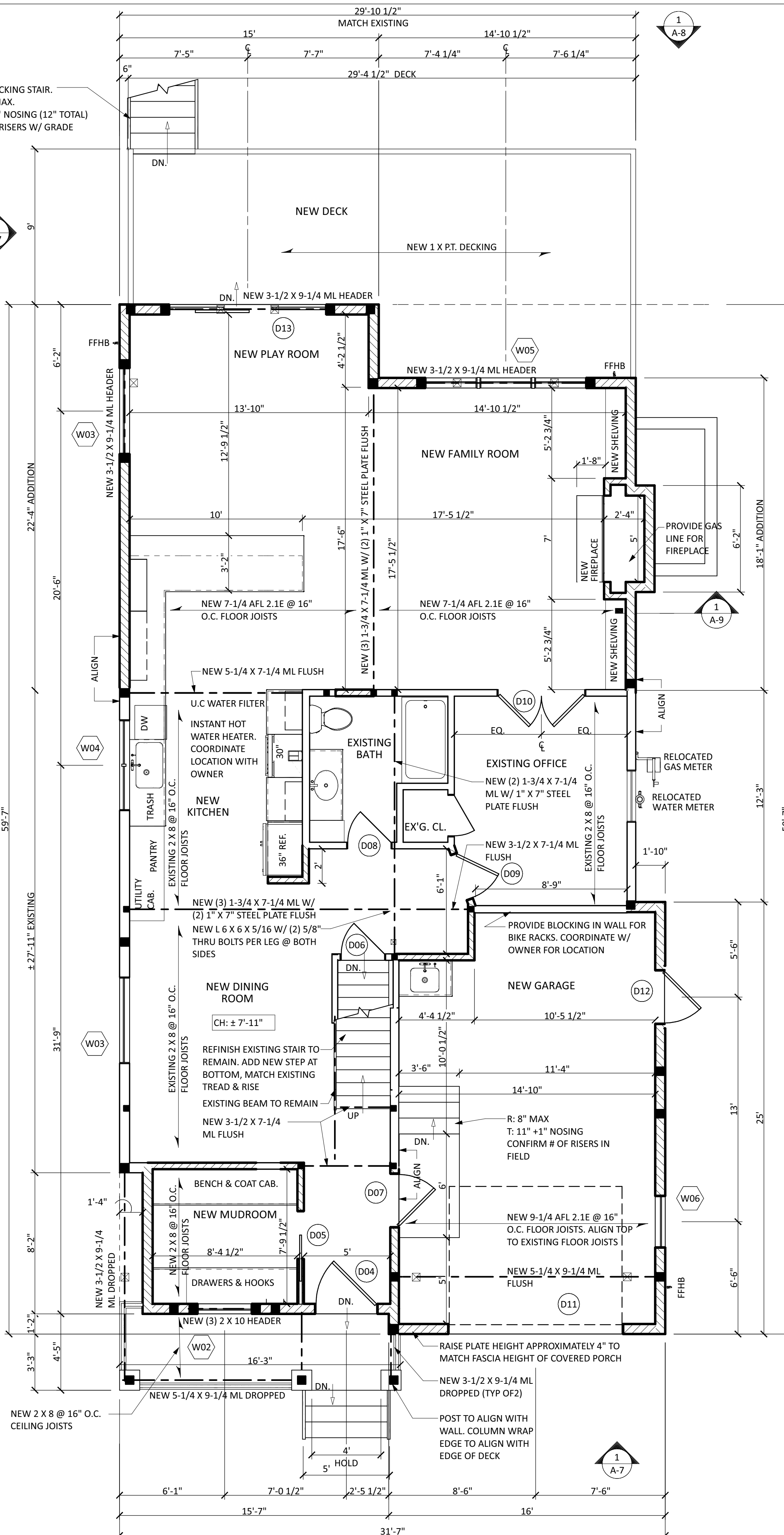
- ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE, NEW BILLET STEEL, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. ALL BARS SHALL BE FREE OF DEBRIS AND RUST, AND SECURELY WIRED IN PLACE SO THAT REINFORCING WILL NOT BE DISPLACED BY FORMWORK CONSTRUCTION, OR BY CONCRETE PLACEMENT OPERATIONS.
- ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185.
- THE MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE 3" FOR FOOTINGS, AND 2" FOR WALLS AND 3/4" FOR SLABS WHICH ARE NOT EXPOSED TO THE WEATHER.

FOUNDATION NOTES:

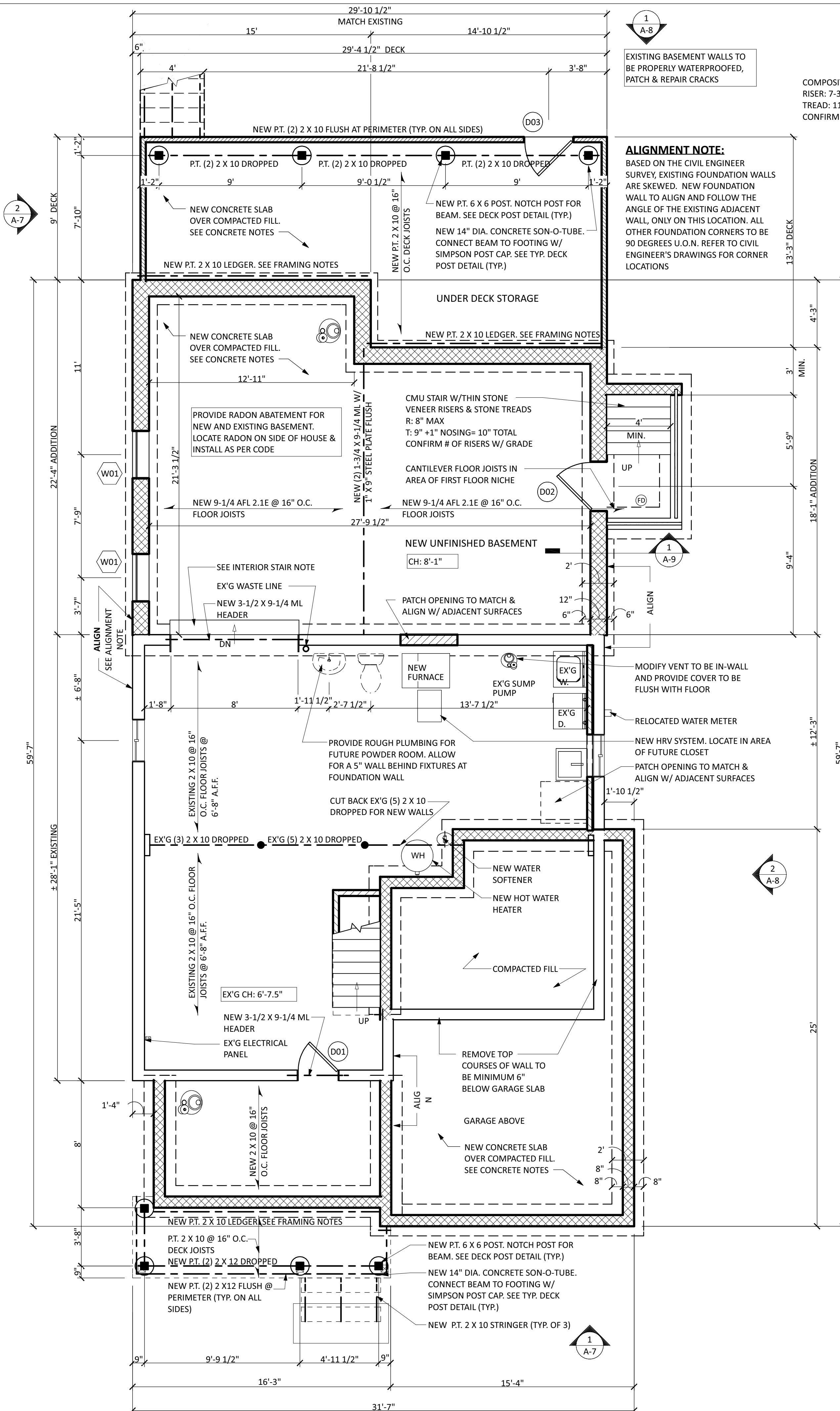
- 12" FOUNDATION WALL FOR FULL BASEMENTS (U.O.N.)
- 8" FOUNDATION WALL FOR CRAWL SPACE & SLAB ON GRADE (U.O.N.)
- ALL NEW POSTS AND COLUMNS TO BEAR ON SOLID MASONRY FOUNDATION. TIE ALL NEW FOUNDATIONS / FOOTINGS TO EXISTING FOUNDATION WALLS.
- CONSULT WITH ARCHITECT IF EXISTING FOOTING IS NOT LOCATED 3'-6" BELOW GRADE.
- VERTICAL REINFORCING FOR MASONRY FOUNDATION WALLS SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):
 - A. BACKFILL #5 RE BAR AT 24" O.C.
 - B. 9" BACKFILL #5 RE BAR AT 24" O.C.
 - C. ABOVE 9" OF BACKFILL, CONSULT WITH ARCHITECT.
 - D. FILL ALL CELLS CONTAINING REBAR WITH PEA GRAVEL CONCRETE.
 - E. SEE WALL SECTION & FOUNDATION PLAN FOR ADDITIONAL INFO. AND CLARIFICATION.



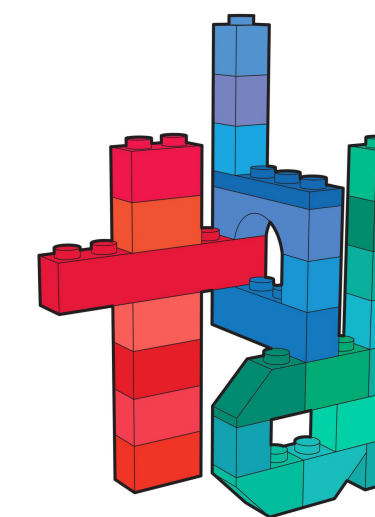
3 KITCHEN PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



1 FOUNDATION/ BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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CONSULTANTS:

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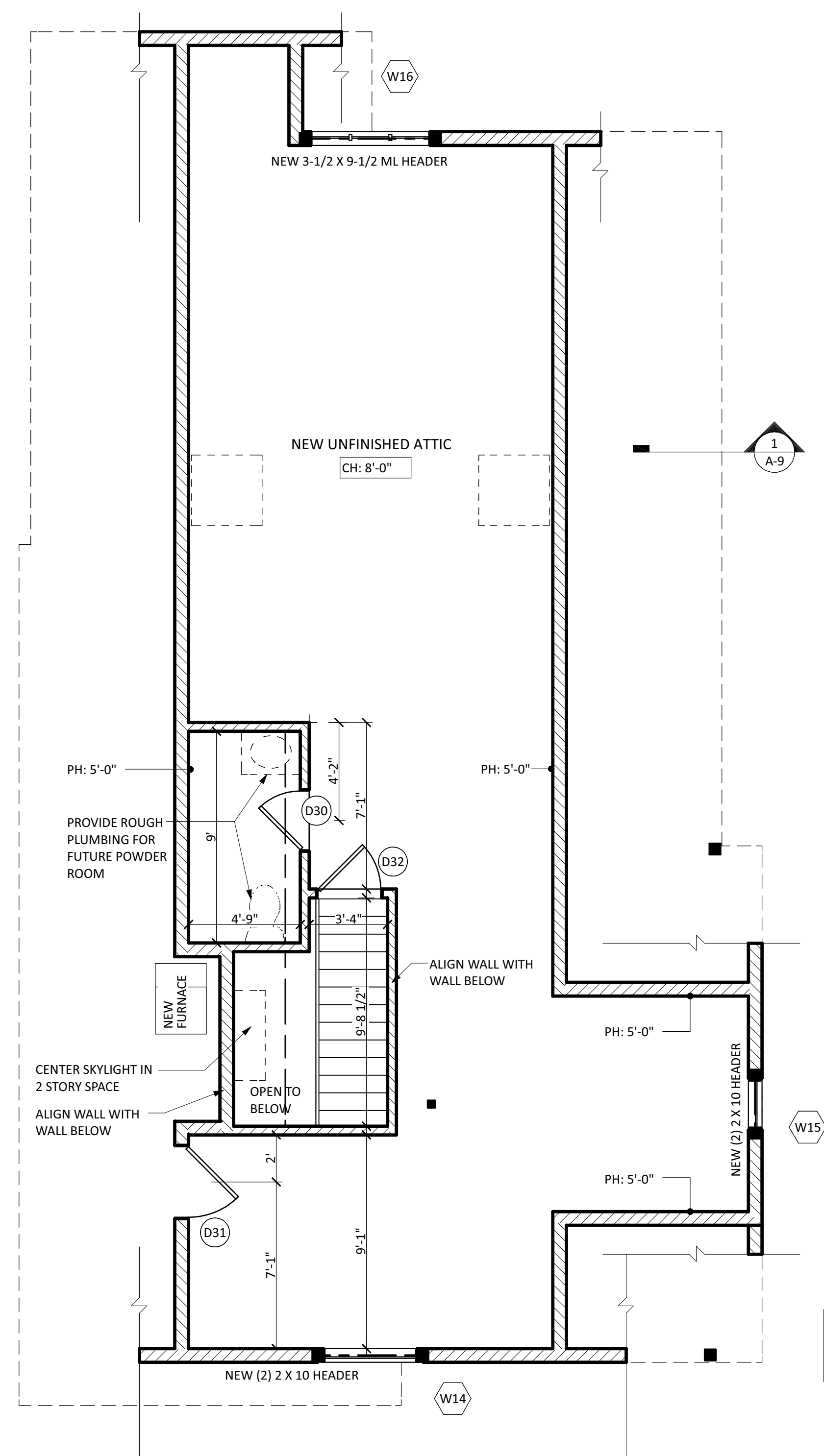
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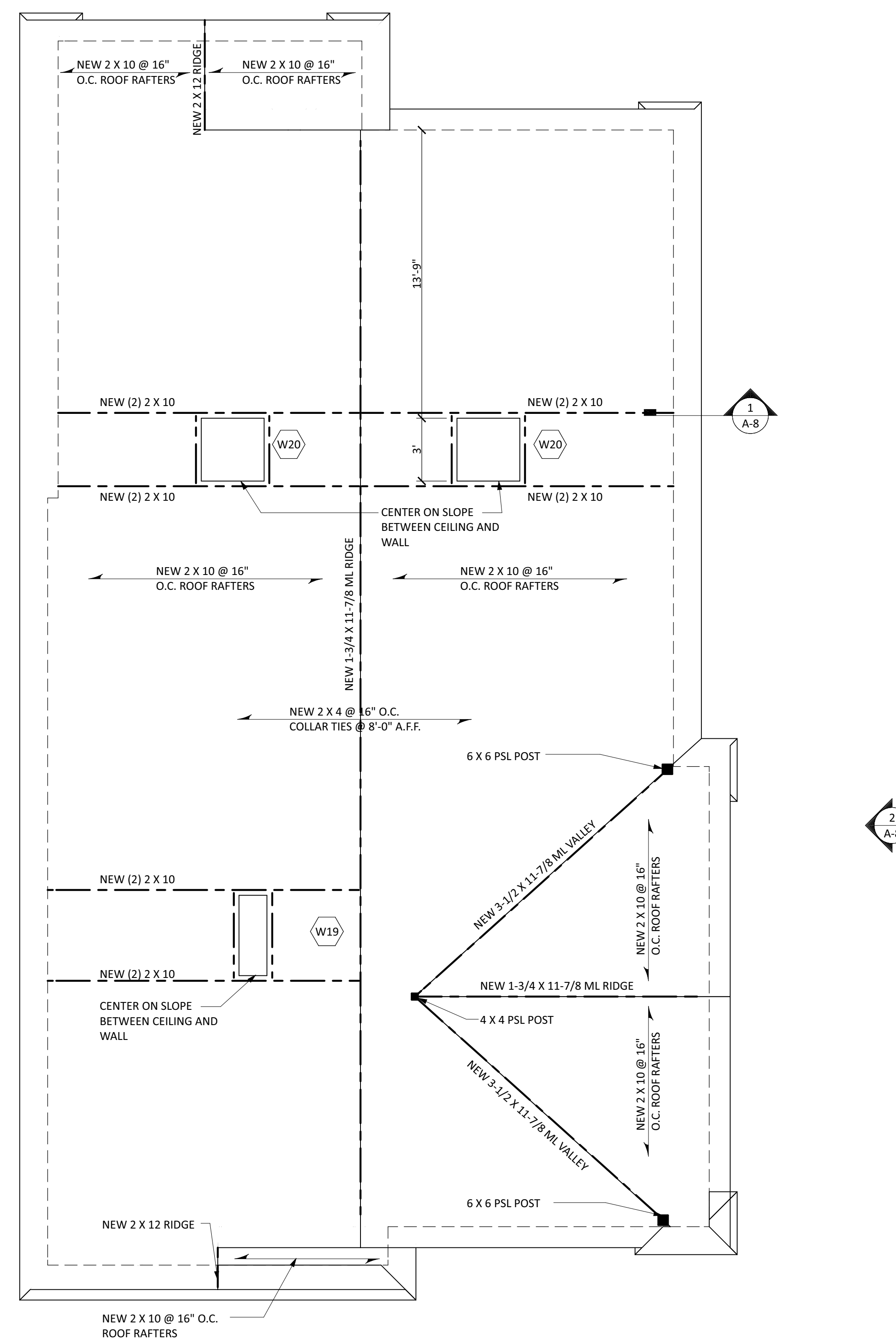
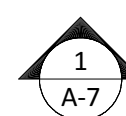
ATTIC & ROOF PLAN

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A-5

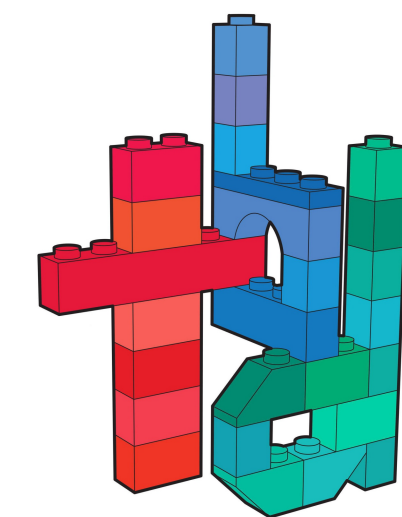


1 ATTIC PLAN
 SCALE: 1/4" = 1'-0"



2 ROOF PLAN
 SCALE: 1/4" = 1'-0"

SOLAR PANEL NOTES:
 COORDINATE WITH SOLAR PANEL VENDOR/ DESIGNER
 & PROVIDE ANY FRAMING/ BLOCKING FOR FUTURE
 INSTALLATION



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| 2 | CLIENT MEETING | 06.14.2021 |
| 3 | ISSUE FOR BID | 06.29.2021 |
| 4 | CLIENT MEETING | 09.10.2021 |
| 5 | CLIENT REVIEW | 10.08.2021 |
| 6 | PERMIT SET | 10.21.2021 |
| 7 | ISSUE FOR PERMIT | 11.08.2021 |
| 8 | ISSUE FOR PERMIT | 01.28.2022 |
| 9 | ISSUE FOR PERMIT | 02.16.2022 |
| 10 | REVISION | 07.26.2022 |

NO. REVISION DATE

JOHNSON/ZIMMERMAN
RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ

PLUMBING RISER, WATER
RISER & GAS RISER
DIAGRAMS, DOOR &
WINDOW SCHEDULES

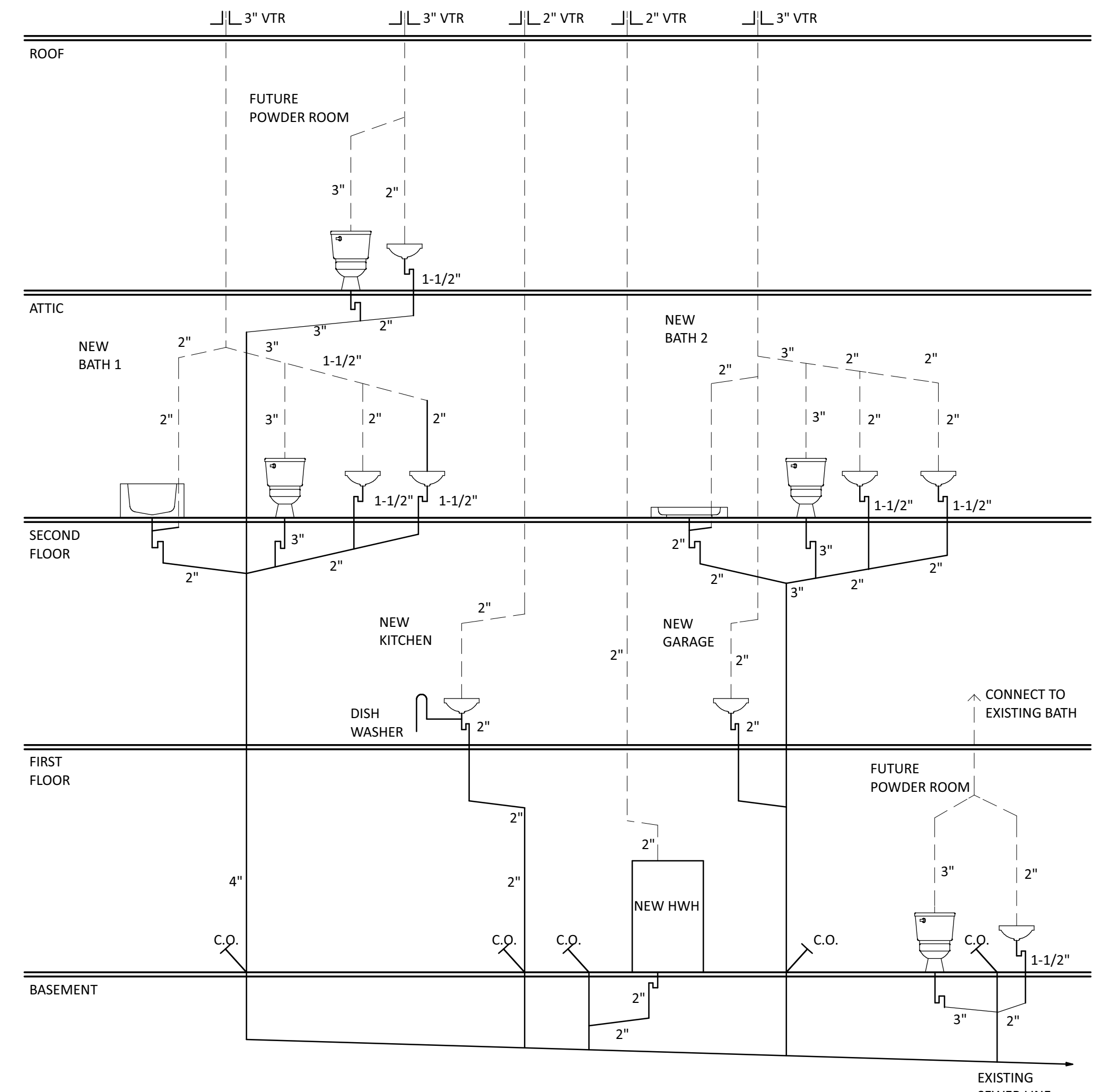
DATE: 05.10.2021 DRAWN BY: SP
SCALE: AS NOTED CHECKED BY: TB

| WINDOW SCHEDULE | | | | | | | |
|-----------------|---------|----------------|-----------------|-----|--------|----------|---|
| SYM. | WIDTH | HEIGHT | DESCRIPTION | QTY | EGRESS | TEMPERED | COMMENTS |
| W01 | 36" | 41 1/2" | CASEMENT | 2 | | | ANDERSEN 100 SERIES |
| W02 | 38" | 57" | DOUBLE HUNG | 1 | | | ANDERSEN 200 SERIES |
| W03 | 60" | 20" | FIXED | 2 | | | ANDERSEN 400 SERIES |
| W04 | 63" | 36" | DOUBLE CASEMENT | 1 | | | ANDERSEN 400 SERIES CONFIRM SILL IS MIN. 3'-6" A.F.F. PRIOR TO ORDERING |
| W05 | 112" | 56" | DOUBLE HUNG | 1 | | | ANDERSEN 200 SERIES 2" MULL, TRIPLE |
| W06 | 36" | 41" V.I.F. | EXISTING | 1 | | | EXISTING RELOCATE FROM EXISTING BEDROOM |
| W07 | 65" | 48" | DOUBLE HUNG | 1 | | | ANDERSEN 200 SERIES 2" MULL, PAIR |
| W08 | 65" | 48" | DOUBLE HUNG | 1 | | YES | ANDERSEN 200 SERIES 2" MULL, PAIR |
| W09 | 36" | 56 1/2" | DOUBLE HUNG | 4 | YES | | ANDERSEN 200 SERIES |
| W10 | 24" | 42" | DOUBLE HUNG | 1 | | | ANDERSEN 200 SERIES |
| W11 | 24" | 42" | DOUBLE HUNG | 2 | | YES | ANDERSEN 200 SERIES |
| W12 | 32" | 48" | CASEMENT | 1 | | | ANDERSEN 400 SERIES |
| W13 | 74" | 56 1/2" | DOUBLE HUNG | 1 | YES | | ANDERSEN 200 SERIES 2" MULL, PAIR |
| W14 | 48" | 24" | AWNING | 1 | | | ANDERSEN 400 SERIES |
| W15 | 26 1/2" | 40 1/2" V.I.F. | EXISTING | 1 | | | EXISTING RELOCATE FROM EXISTING FIRST FLOOR BATHROOM |
| W16 | 61" | 36" | TRIPLE CASEMENT | 1 | | | ANDERSEN 400 SERIES |
| W17 | 74" | 56 1/2" | DOUBLE HUNG | 1 | YES | | ANDERSEN 200 SERIES 2" MULL, PAIR |
| W18 | 24" | 36" | SKYLIGHT | 2 | | | VELUX FIXED WITHOUT CURB |
| W19 | 24" | 48" | SKYLIGHT | 1 | | | VELUX FIXED WITHOUT CURB |
| W20 | 36" | 36" | SKYLIGHT | 2 | | | VELUX FIXED WITHOUT CURB |
| W21 | 62" | 48" | DOUBLE CASEMENT | 1 | | | ANDERSEN 400 |

NOTE:
1. ALL UNITS SHALL BE 'ANDERSEN' OR APPROVED EQUAL WITH WOOD PRIMED FRAMES, AND INSULATED, LOW E, ARGON FILLED GLASS, WITH SCREENS ON OPERABLE UNITS, VERIFY JAMB SIZES IN FIELD.
2. CASING AND SILLS TO BE SELECTED, CONFIRM SCREEN AND HARDWARE COLOR AND FINISH SELECTIONS WITH OWNER PRIOR TO ORDERING
3. SEE PLANS AND ELEVATIONS FOR HEAD HEIGHTS, LITE PATTERNS, HINGING, AND WINDOW HEADER SIZES
4. WINDOWS AT TUB AND STAIRS TO BE TEMPERED. SEE PROJECT SPECIFICATIONS FOR OTHER LOCATIONS

| DOOR SCHEDULE | | | | | | | |
|---------------|-------|--|----------------------------|---------------------------|------------------|----------|---|
| SYM. | FLOOR | LOCATION | DIMENSIONS | DESCRIPTION | MANUF. | TEMPERED | NOTES |
| D01 | 0 | EXISTING UNFINISHED BASEMENT/NEW UNFINISHED BASEMENT | 30"X80"X1 3/4" R IN | 6 PANEL TO MATCH EXISTING | SIMPSON OR EQUAL | | |
| D02 | 0 | NEW UNFINISHED BASEMENT/BASEMENT ENTRY | 36"X80"X1 3/4" L IN V.I.F. | EXISTING | EXISTING | | RELOCATE FROM FIRST FLOOR ENTRY |
| D03 | 0 | UNDER DECK STORAGE | 36"X48"X1 3/4" L EX V.I.F. | EXTERIOR | | | UNDER DECK ACCESS |
| D04 | 1 | NEW FOYER/NEW COVERED PORCH | 42"X80"X1 3/4" R EX | EXTERIOR | ANDERSEN | | OWNER TO SELECT |
| D05 | 1 | NEW MUDROOM/NEW FOYER | 32"X80"X1 3/8" R | FLAT 1 PANEL POCKET | SIMPSON OR EQUAL | | PROVIDE "JOHNSON" 1500SC HARDWARE |
| D06 | 1 | MODIFIED KITCHEN/BASEMENT | 30"X80"X1/16" R IN V.I.F. | EXISTING | EXISTING | | PAINT EXISTING DOOR |
| D07 | 1 | NEW FOYER/NEW GARAGE | 36"X80"X1 3/4" R EX | 6 PANEL TO MATCH EXISTING | SIMPSON OR EQUAL | | 20 MIN. FIRE RATED |
| D08 | 1 | EXISTING BATH/MODIFIED KITCHEN | 30"X80"X1/16" R IN V.I.F. | EXISTING | EXISTING | | PAINT EXISTING DOOR |
| D09 | 1 | MODIFIED KITCHEN/EXISTING OFFICE | 32"X80"X1 3/4" L IN | 6 PANEL TO MATCH EXISTING | SIMPSON OR EQUAL | | |
| D10 | 1 | EXISTING OFFICE/NEW FAMILY ROOM | (2) 30"X80"X1 3/4" L/R IN | INTERIOR FRENCH | SIMPSON OR EQUAL | | PAIR |
| D11 | 1 | NEW GARAGE | 120"X96"X1 3/4" | OVERHEAD | CLOPAY OR EQUAL | | OWNER TO SELECT |
| D12 | 1 | NEW GARAGE | 36"X80"X1 3/4" L EX | EXTERIOR | ANDERSEN | | OWNER TO APPROVE PRIOR TO ORDERING |
| D13 | 1 | NEW PLAY ROOM/NEW DECK | (3) 36"X80"X1 3/4" L EX | EXTERIOR SLIDER | ANDERSEN | | TRIPLE, OWNER TO APPROVE PRIOR TO ORDERING. CENTER PANEL TO BE OPERABLE |
| D14 | 2 | NEW BEDROOM/HALL | 32"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D15 | 2 | NEW CL./HALL | (2) 18"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D16 | 2 | NEW MASTER BEDROOM/HALL | 32"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D17 | 2 | HALL/NEW LINEN | (2) 24"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D18 | 2 | NEW CL./NEW BEDROOM | 30"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D19 | 2 | NEW BATH 2/NEW MASTER BEDROOM | 30"X80"X1 3/4" R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D20 | 2 | NEW CL./NEW BEDROOM | (2) 24"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D21 | 2 | NEW CL./NEW BEDROOM | (2) 24"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D22 | 2 | NEW MASTER BEDROOM/NEW W.I.C. | 30"X80"X1 3/4" R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D23 | 3 | OMIT | | | | | |
| D24 | 2 | HALL/NEW BATH 1 | 30"X80"X1 3/4" R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D25 | 2 | NEW BATH 1/NEW BATH 1 | 24"X80"X1 3/8" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D26 | 2 | HALL/NEW BEDROOM | 32"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D27 | 2 | HALL/NEW OFFICE | 32"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D28 | 2 | NEW CL./NEW OFFICE | (2) 30"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D29 | 2 | NEW CL./NEW BEDROOM | (2) 30"X80"X1 3/4" L/R IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | PAIR |
| D30 | 3 | NEW UNFINISHED ATTIC/NEW POWDER ROOM | 30"X80"X1 3/4" V.I.F. | FLAT 1 PANEL | SIMPSON OR EQUAL | | |
| D31 | 3 | NEW UNFINISHED ATTIC/NEW ATTIC | 36"X54"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | ATTIC ACCESS |
| D32 | 3 | OPEN BELOW/NEW UNFINISHED ATTIC | 32"X81"X1 3/4" L EX | FLAT 1 PANEL | | | |
| D33 | 2 | HALL/NEW BEDROOM | 32"X80"X1 3/4" L IN | FLAT 1 PANEL | SIMPSON OR EQUAL | | |

NOTES:
1. ALL DOORS & HARDWARE TO BE PROVIDED & INSTALLED BY GENERAL CONTRACTOR
JAMBS TO BE 4" WITH EXTENSIONS TO CREATE LEDGE ON INSIDE OF WINDOW
2. ALL DOOR STYLES TO BE APPROVED BY OWNER (PANELS STILES & RAILS TYP.) & HAVE 1-3/4" THICKNESS, PAINT GRADE DOORS TO BE FIR OR PINE
3. ALL DOOR HARDWARE TO BE APPROVED BY OWNER.
4. ALL EXTERIOR DOORS SHALL BE 'ANDERSEN SERIES' OR APPROVED EQUAL & HAVE A PRIMED EXTERIOR, AND INSULATED, LOW-E, ARGON FILLED GLASS.
5. PROVIDE SCREEN DOORS ON ALL EXTERIOR DOORS UNLESS OTHERWISE NOTED BY OWNER.
6. SEE PLANS AND ELEVATIONS FOR HEAD HEIGHTS, LITE PATTERNS, HINGING, AND HEADER SIZES



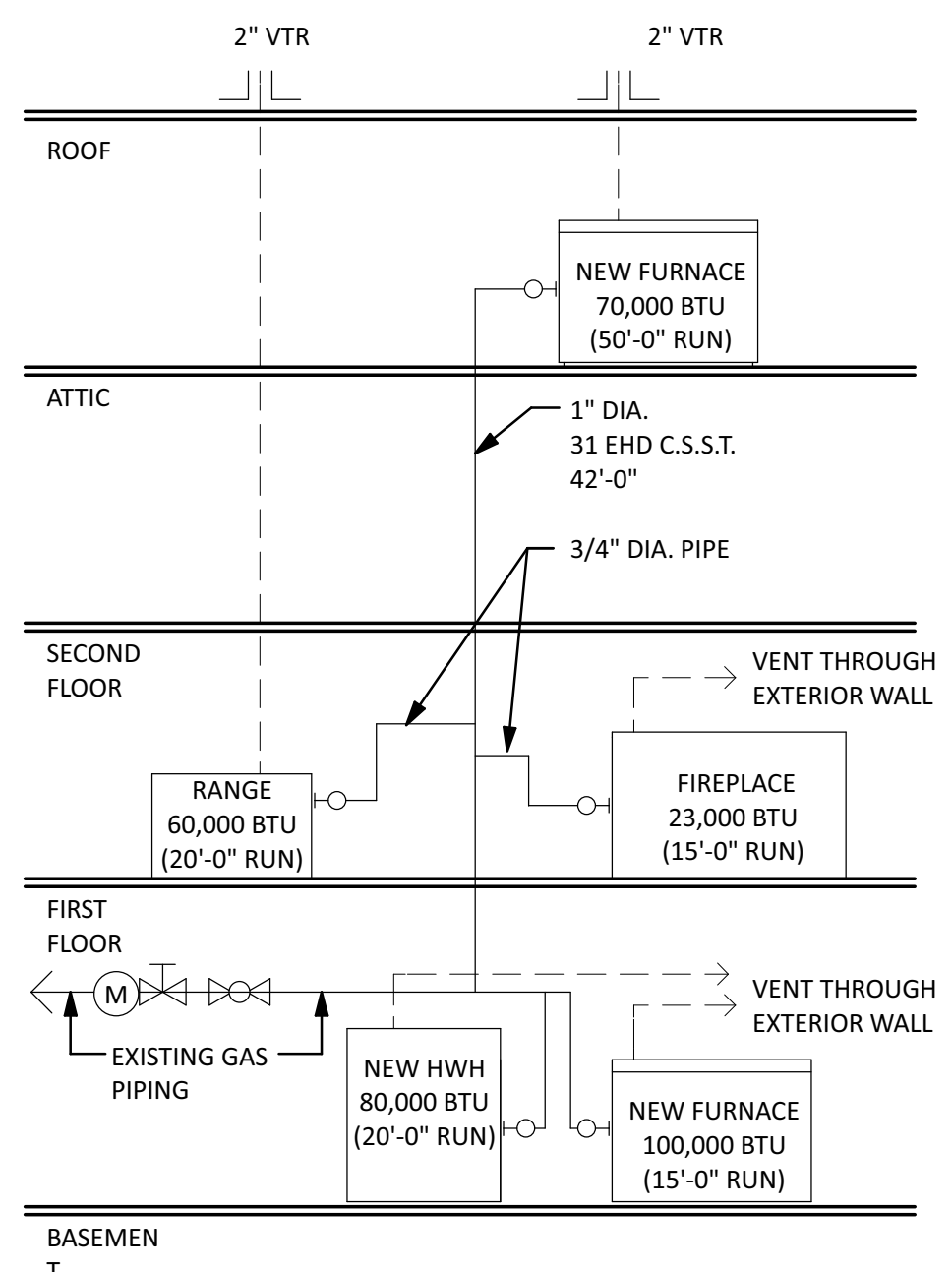
LEGEND

- PRESSURE RELIEF VALVE
- BUILDING SHUT-OFF VALVE
- APPLIANCE SHUT OFF VALVE
- METER ON EXTERIOR WALL
- VENT PIPE
- C/W — COLD WATER
- H/W — HOT WATER

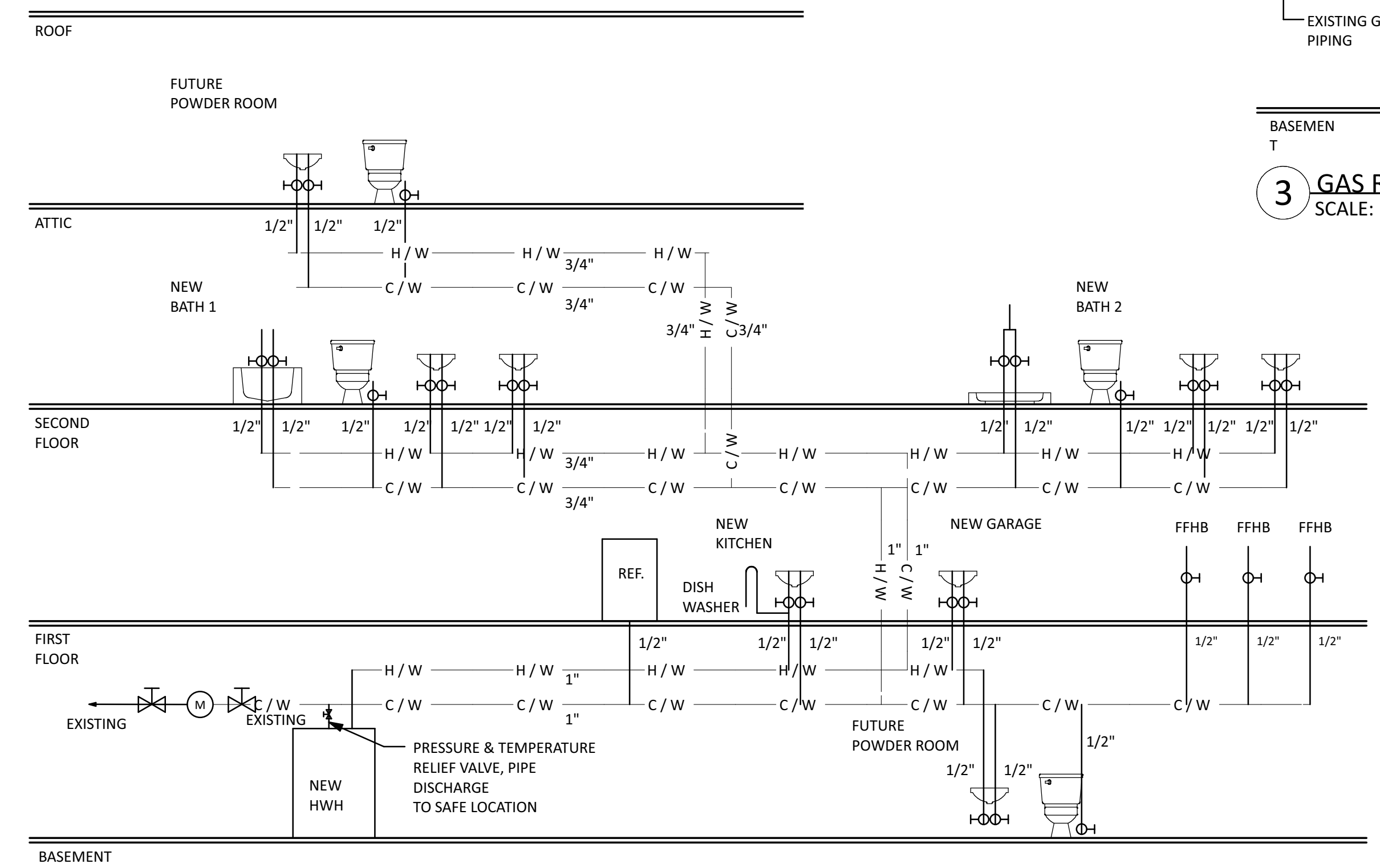
NOTE:
1. ALL GAS PIPING TO BE STEEL, OR APPROVED EQUAL.
2. ALL WATER LINES TO BE COPPER (TYPE L OR K), PEX, OR APPROVED EQUAL.
3. CONTRACTOR TO DETERMINE ALL PIPE RUNS.

ALL HORIZONTAL PIPE RUNS, WASTES OR VENTS SHALL PITCH A MINIMUM OF 1/4" PER FOOT
ALL VTR'S TO BE LOCATED IN REAR ROOFS IF POSSIBLE
VTR'S SHALL NOT BE LOCATED WITHIN 10 FEET OF A WINDOW
CONTRACTORS LICENSED PLUMBER TO REVIEW DIAGRAM AND CORRECT AS REQUIRED.
ALL WORK TO CONFIRM WITH ALL APPLICABLE CODES

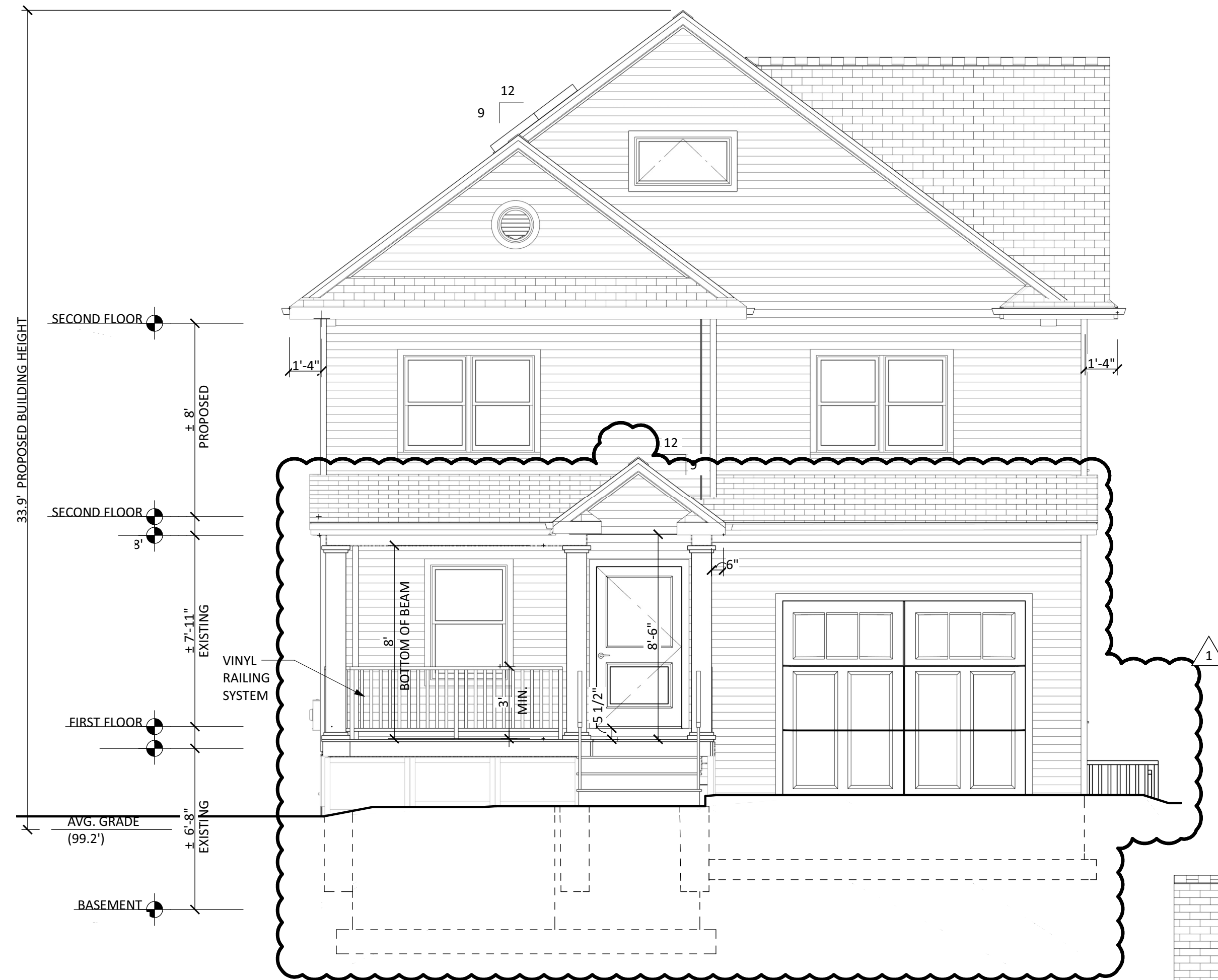
1 PLUMBING RISER DIAGRAM
SCALE: NTS



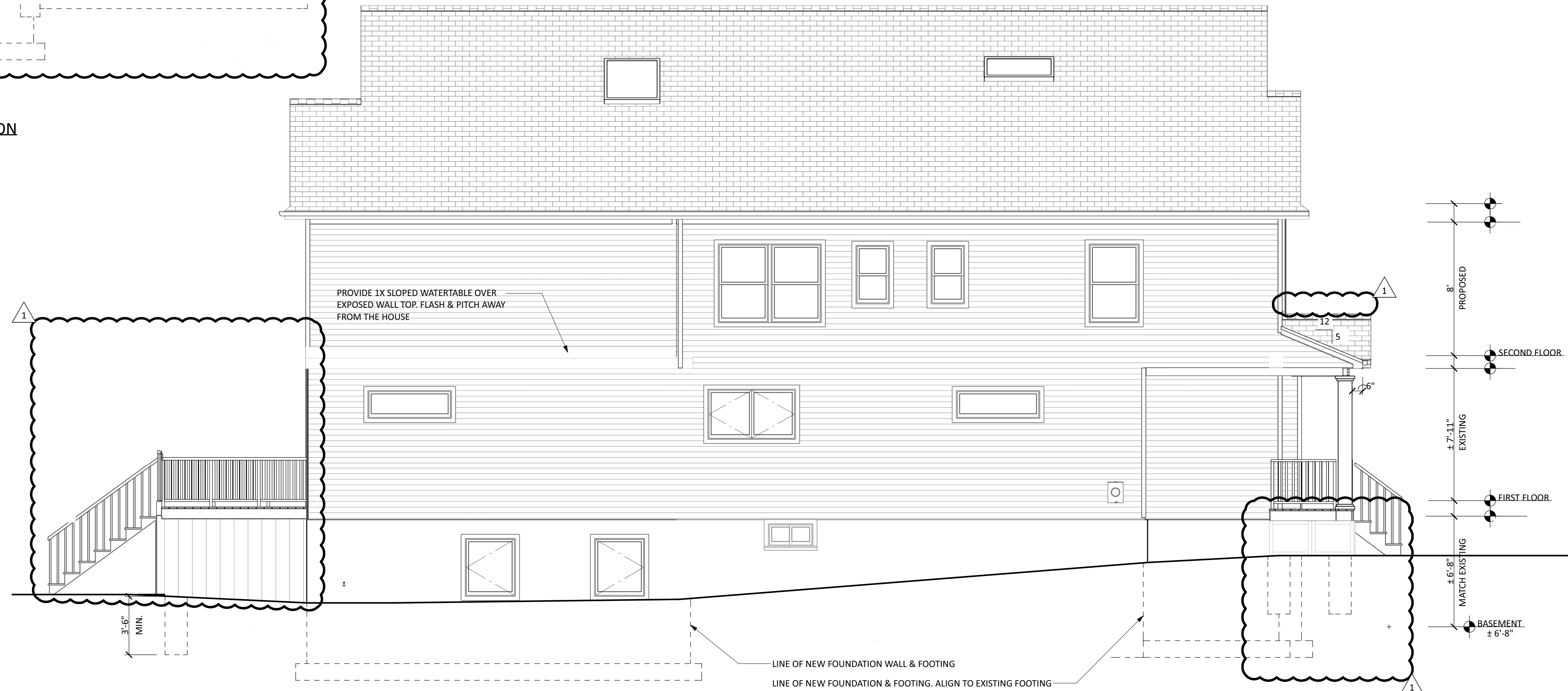
3 GAS RISER DIAGRAM
SCALE: NTS



2 WATER RISER DIAGRAM
SCALE: NTS



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

TYP. ELEVATION NOTES:

SLOPED ROOF:
SEE WALL SECTION FOR TYPE & MANUFACTURER. INSTALL PER MANUFACTURE'S SPECIFICATIONS. OWNER TO SELECT.

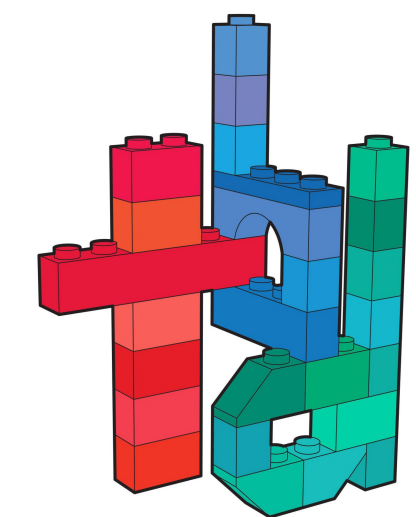
GUTTER:
CONTINUOUS PRE-FINISHED SEAMLESS ALUMINUM GUTTERS & LEADERS. CONNECT LEADERS TO THE EXISTING DRAINAGE SYSTEM, IF ONE EXISTS. ALL DRAINAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE STORM WATER MANAGEMENT ORDINANCE OF THE BOROUGH OF MIDDLESEX COUNTY.

FLASHING:
1. FLASHING SHALL BE USED AT INTERSECTION OF ROOF PLANES, AT CONNECTIONS OF ROOF & WALLS, AT NEW ROOF EAVES & WHERE INDICATED ON THE DRAWINGS.
2. ALL EXPOSED FLASHING SHALL BE COPPER.
3. ALL HIDDEN FLASHING SHALL BE ALUMINUM.
4. FLASH & COUNTER FLASH AT ALL CHIMNEYS & OTHER ROOF PENETRATIONS.

SIDING:
NEW 4" VINYL SIDING. OWNER TO APPROVE SAMPLE, COLOR & FINISH.
THIN BRICK VENEER AT FRONT PORCH.

EXTERIOR TRIM:
ALL TRIM (SOFFITS, FASCIA, RAKES, SKIRTS, DECORATIVE PIECES, ETC.) UNLESS OTHERWISE NOTED SHALL BE 'AZEK' OR APPROVED EQUAL. OWNER TO SELECT.
TRIM SIZES TO BE AS FOLLOWS:
1 CASING: 1 X 4 FLAT STOCK
2 CORNER BOARD: 1 X 4 FLAT STOCK
3 RAKE FASCIA: 1 X 2 FLAT STOCK
4 RAKE SOFFIT: 1 X 2 FLAT STOCK
5 EAVE FASCIA: 1 X 4 FLAT STOCK. WRAP EAVE & FRIEZE BOARD DETAILS AT GABLE ENDS. SEE ELEVATIONS FOR LOCATIONS.
6 FRIEZE BOARD: 1 X 4 FLAT STOCK
7 DECORATIVE COLUMN WRAP: 10" SQUARE TAPERED COLUMN W/ 1 X 5 COLUMN CAP & 1 X 4 COLUMN BASE. OWNER TO SELECT PANEL TRIM & PROFILES.

DECK:
PRESSURE TREATED DECKING, VINYL RAIL, BALUSTERS, TRIM, ETC. TO BE PROVIDED & INSTALLED BY G.C. OWNER TO APPROVE SELECTION PRIOR TO ORDERING.



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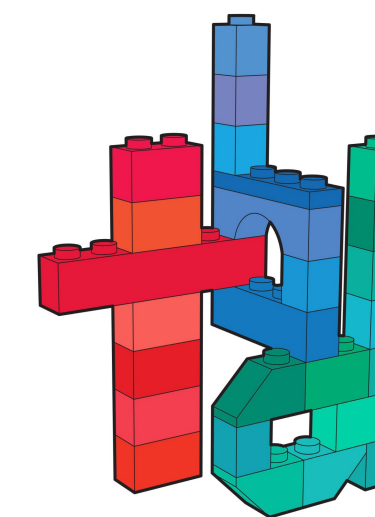
CONSULTANTS:

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| NO. | REVISION | DATE |
|--|----------|------|
| JOHNSON/ZIMMERMAN RESIDENCE 54 MYRTLE AVENUE METUCHEN NJ | | |
| EXTERIOR ELEVATIONS, NOTES | | |

| | |
|------------------|----------------|
| DATE: 05.10.2021 | DRAWN BY: SP |
| SCALE: AS NOTED | CHECKED BY: TB |

A-7



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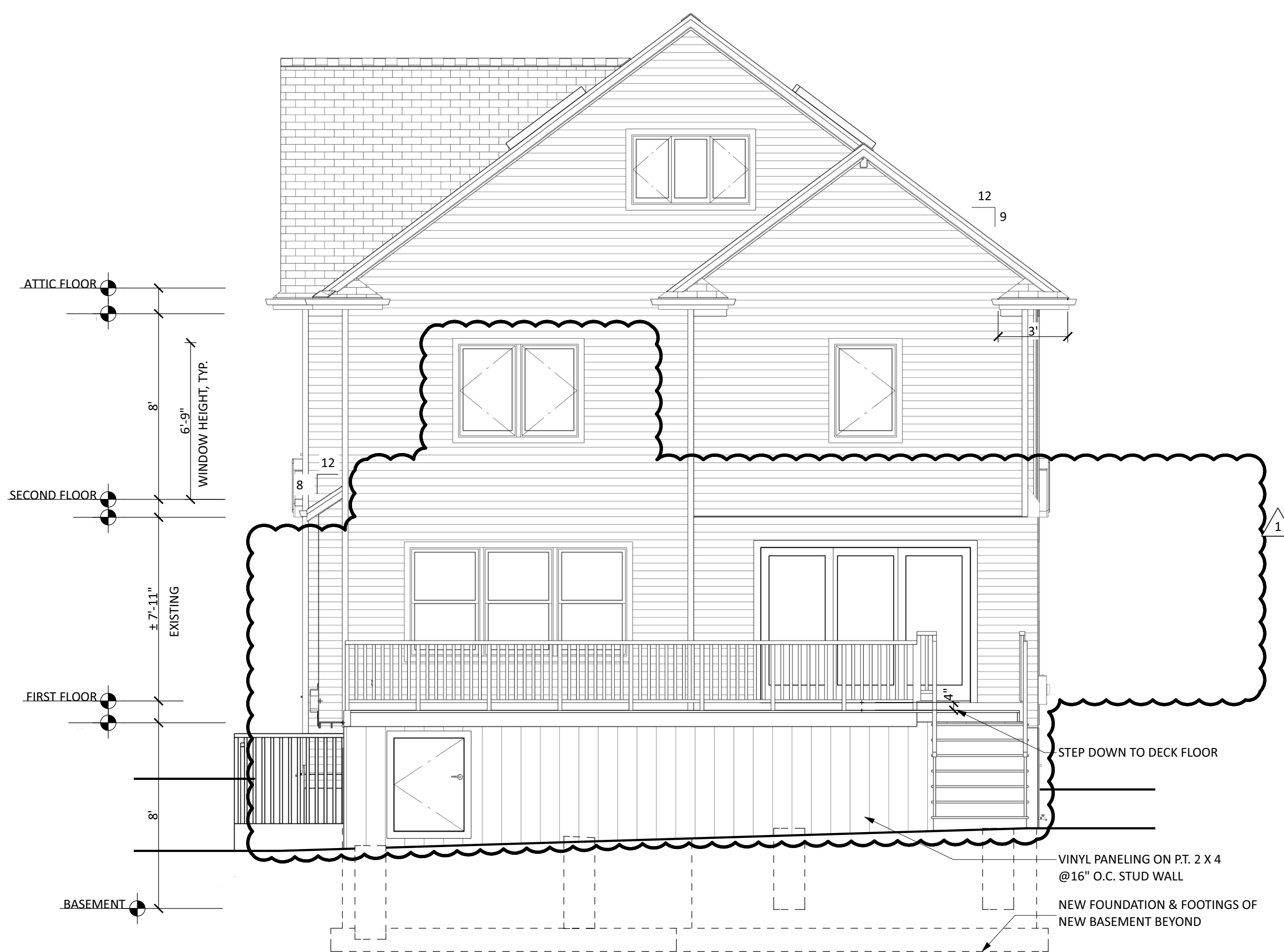
NO. REVISION DATE

JOHNSON/ZIMMERMAN
RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ

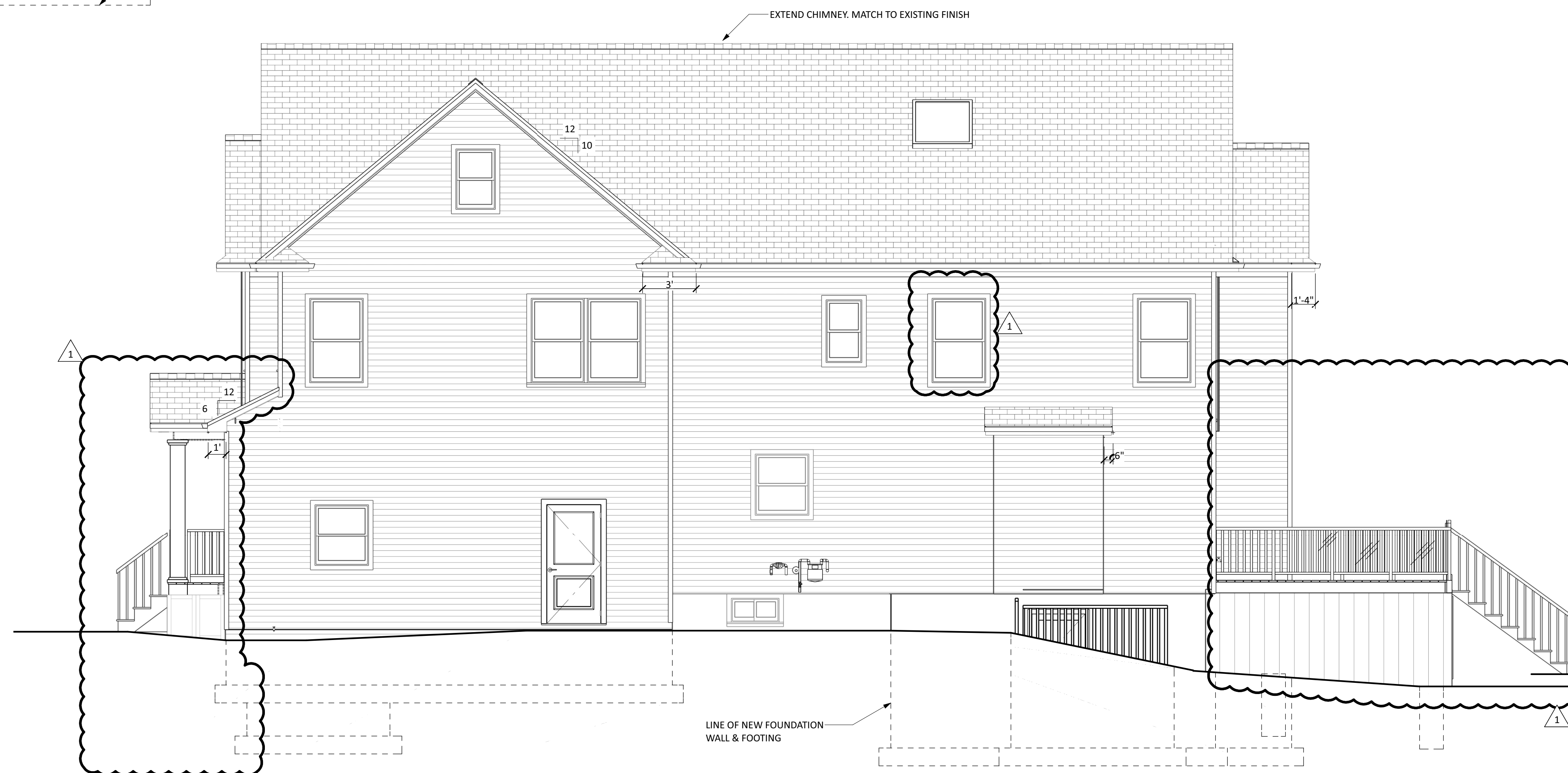
EXTERIOR ELEVATIONS

DATE: 05.10.2021 DRAWN BY: SP
SCALE: AS NOTED CHECKED BY: TB

A-8



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

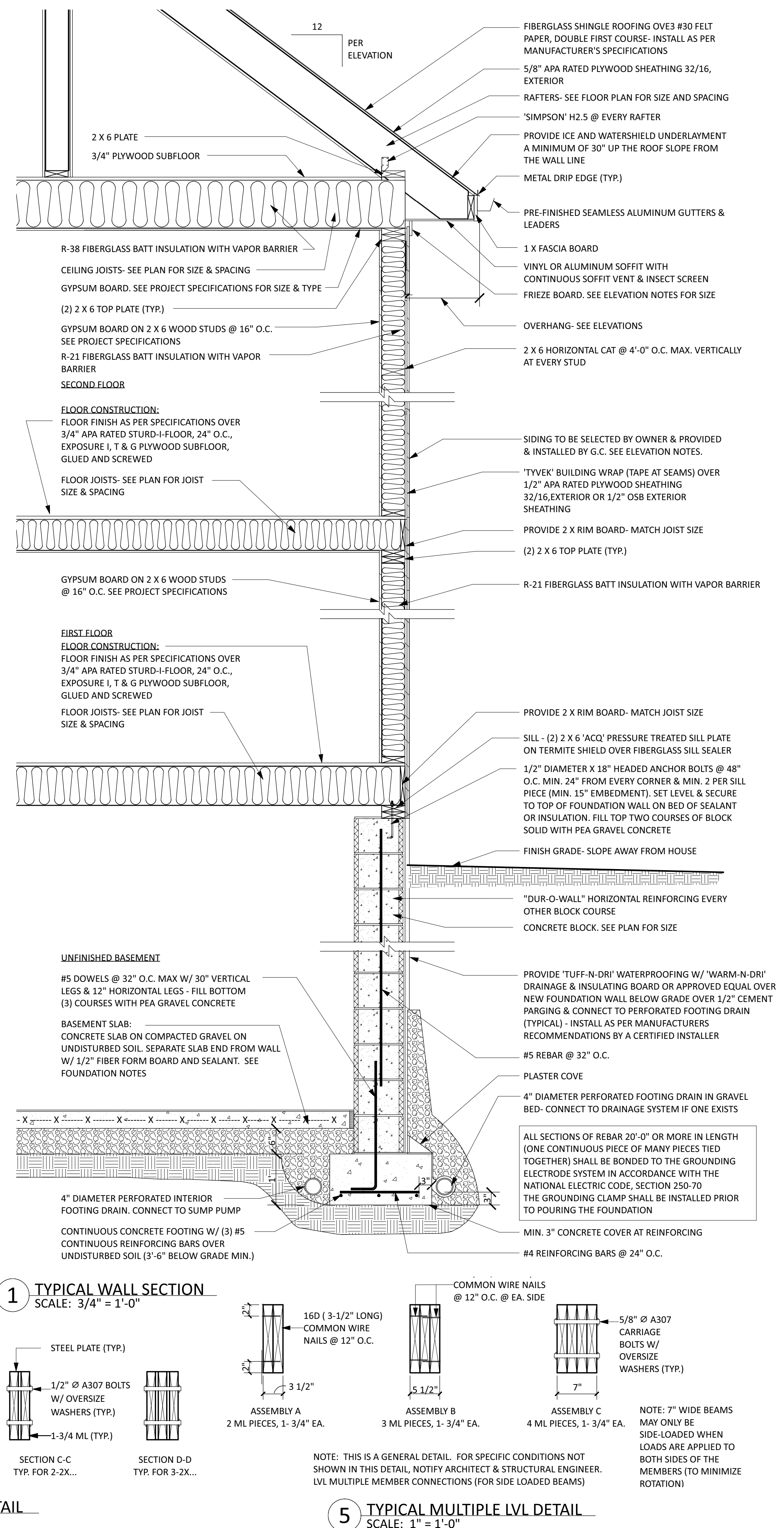
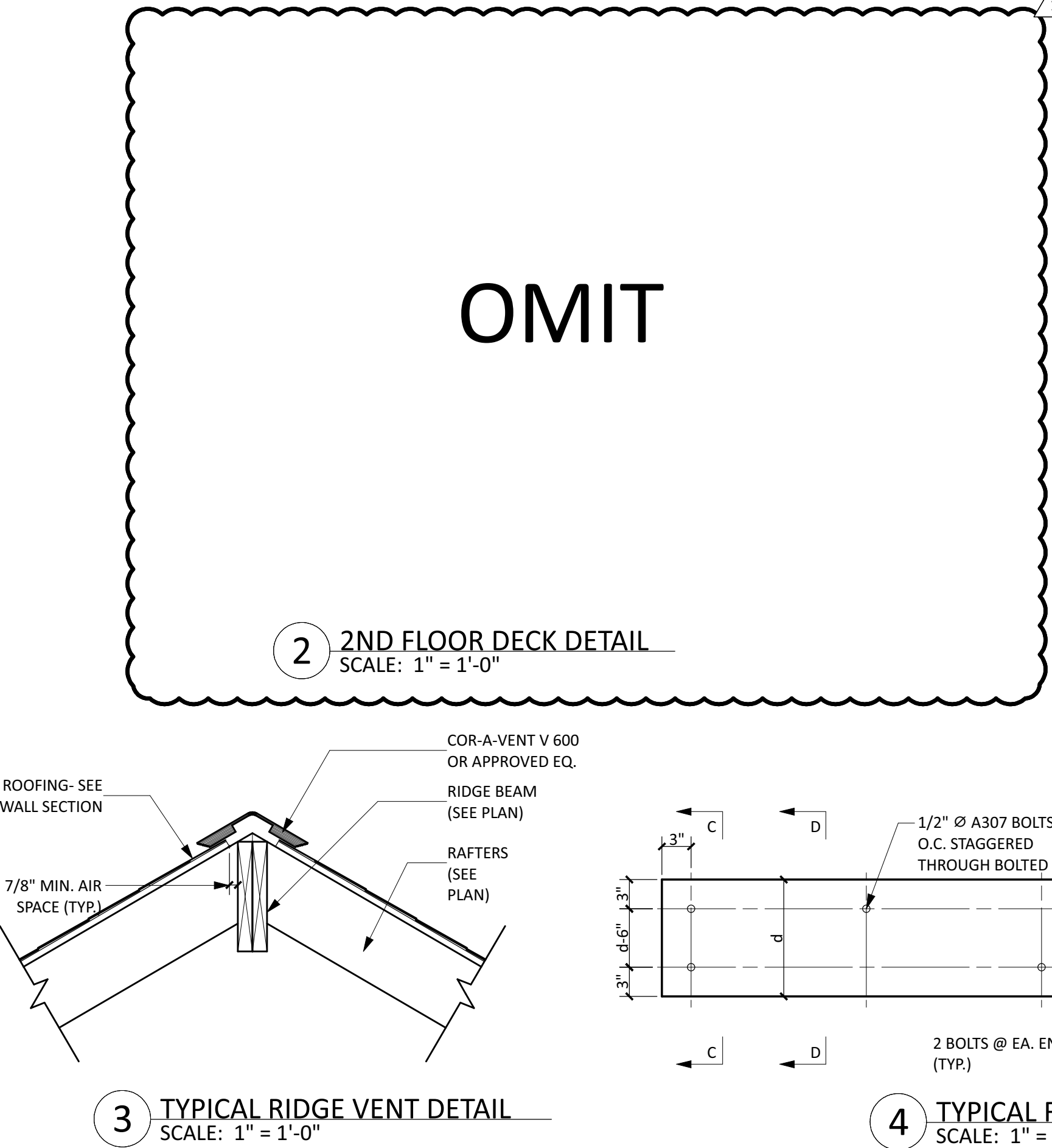
| 2018 IRC - TABLE R602.3(1) FASTENING SCHEDULE | | | |
|---|---|--|--|
| ITEM | DESCRIPTION OF BUILDING ELEMENTS | NUMBER & TYPE OF FASTENER ^{a,b,c} | SPACING & LOCATION |
| ROOF | | | |
| 1 | BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE | 4 - 8d BOX (2-1/2" X 0.113") OR 3 - 8d COMMON (2-1/2" X 0.131") OR 3 - 10d BOX (3" X 0.128") OR 3 - 3" X 0.131" NAILS | TOENAIL |
| 2 | CEILING JOISTS TO TOP PLATE | 4 - 8d BOX (2-1/2" X 0.113") OR 3 - 8d COMMON (2-1/2" X 0.131") OR 3 - 10d BOX (3" X 0.128") OR 3 - 3" X 0.131" NAILS | PER JOIST, TOENAIL |
| 3 | CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS [SEE SECTION R802.5.2 AND TABLE R802.5.2] | 4 - 10d BOX (3" X 0.128") OR 3 - 16d COMMON (3-1/2" X 0.162") OR 4 - 3" X 0.131" NAILS | FACE NAIL |
| 4 | CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTION R802.5.2, AND TABLE R802.5.2] | TABLE R802.5.2 | FACE NAIL |
| 5 | COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4" X 20 GA. RIDGE STRAP TO RAFTER | 4 - 10d BOX (3" X 0.128") OR 3 - 10d COMMON (3" X 0.148") OR 4 - 3" X 0.131" NAILS | FACE NAIL EACH RAFTER |
| 6 | RAFTER OR ROOF TRUSS TO PLATE | 3 - 16d BOX (3-1/2" X 0.135") OR 3 - 10d COMMON (3" X 0.148") OR 4 - 10d BOX (3" X 0.128") OR 4 - 3" X 0.131" NAILS | 2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS ¹ |
| 7 | ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM | 4 - 16d BOX (3-1/2" X 0.135") OR 3 - 10d COMMON (3" X 0.148") OR 4 - 10d BOX (3" X 0.128") OR 4 - 3" X 0.131" NAILS | TOENAIL END NAIL |
| WALL | | | |
| 8 | STUD TO STUD (NOT A BRACED WALL PANELS) | 16d COMMON (3-1/2" X 0.162") 10d BOX (3" X 0.128") OR 3" X 0.131" NAILS | 24" O.C. FACE NAIL 16" O.C. FACE NAIL |
| 9 | STUD TO STUD AND BUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS) | 16d BOX (3-1/2" X 0.135") OR 3" X 0.131" NAIL | 12" O.C. FACE NAIL |
| 10 | BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER) | 16d COMMON (3-1/2" X 0.162") 16d BOX (3-1/2" X 0.135") | 16" O.C. EACH EDGE FACE NAIL 12" O.C. EACH EDGE FACE NAIL |
| 11 | CONTINUOUS HEADER TO STUD | 5 - 8d BOX (2-1/2" X 0.113") OR 4 - 8d COMMON (2-1/2" X 0.131") OR 4 - 10d BOX (3" X 0.128") | TOENAIL |
| 12 | TOP PLATE TO TOP PLATE | 16d COMMON (3-1/2" X 0.162") 10d BOX (3" X 0.128") OR 3" X 0.131" NAILS | 16" O.C. FACE NAIL 12" O.C. FACE NAIL |
| 13 | DOUBLE TOP PLATE SPLICE | 8 - 16d COMMON (3-1/2" X 0.162") OR 12 - 16d BOX (3-1/2" X 0.135") OR 12 - 10d BOX (3" X 0.128") OR 12 - 3" X 0.131" NAILS | FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT) |
| 14 | BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) | 16d COMMON (3-1/2" X 0.162") 16d BOX (3-1/2" X 0.135") OR 3" X 0.131" NAILS | 16" O.C. FACE NAIL 12" O.C. FACE NAIL |
| 15 | BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) | 3 - 16d BOX (3-1/2" X 0.135") OR 2 - 16d COMMON (3-1/2" X 0.162") OR 4 - 3" X 0.131" NAILS | 3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL |
| 16 | TOP OR BOTTOM PLATE TO STUD | 4 - 8d BOX (2-1/2" X 0.113") OR 3 - 16d BOX (3-1/2" X 0.135") OR 4 - 8d COMMON (2-1/2" X 0.131") OR 4 - 10d BOX (3" X 0.128") OR 4 - 3" X 0.131" NAILS | TOE NAIL |
| 17 | TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS | 3 - 16d BOX (3-1/2" X 0.135") OR 2 - 16d COMMON (3-1/2" X 0.162") OR 3 - 3" X 0.131" NAILS | END NAIL |
| 18 | 1" BRACE TO EACH STUD AND PLATE | 3 - 8d BOX (2-1/2" X 0.113") OR 2 - 8d COMMON (2-1/2" X 0.131") OR 2 - 10d BOX (3" X 0.128") OR 2 STAPLES, 1" CROWN, 16 GA, 1-3/4" LONG | FACE NAIL |
| 19 | 1" X 6" SHEATHING TO EACH BEARING | 3 - 8d BOX (2-1/2" X 0.113") OR 2 - 8d COMMON (2-1/2" X 0.131") OR 2 - 10d BOX (3" X 0.128") OR 2 STAPLES, 1" CROWN, 16 GA, 1-3/4" LONG | FACE NAIL |
| 20 | 1" X 8" AND WIDER SHEATHING TO EACH BEARING | 3 - 8d BOX (2-1/2" X 0.113") OR 3 - 8d COMMON (2-1/2" X 0.131") OR 3 - 10d BOX (3" X 0.128") OR 3 STAPLES, 1" CROWN, 16 GA, 1-3/4" LONG | FACE NAIL |
| FLOOR | | | |
| 21 | JOIST TO SILL, TOP PLATE OR GIRDER | 4 - 8d BOX (2-1/2" X 0.113") OR 3 - 8d COMMON (2-1/2" X 0.131") OR 3 - 10d BOX (3" X 0.128") OR 3 - 3" X 0.131" NAILS | TOE NAIL |
| 22 | RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO) | 8d BOX (2-1/2" X 0.113") 8d COMMON (2-1/2" X 0.131") OR 10d BOX (3" X 0.128") OR 3" X 0.131" NAILS | 4" O.C. TOE NAIL 6" O.C. TOE NAIL |
| 23 | 1" X 6" SUBFLOOR OR LESS TO EACH JOIST | 3 - 8d BOX (2-1/2" X 0.113") OR 2 - 8d COMMON (2-1/2" X 0.131") OR 3 - 10d BOX (3" X 0.128") OR 2 STAPLES, 1" CROWN, 16 GA, 1-3/4" LONG | FACE NAIL |
| 24 | 2" SUBFLOOR TO JOIST OR GIRDER | 3 - 16d BOX (3-1/2" X 0.135") OR 2 - 16d COMMON (3-1/2" X 0.162") | BLIND AND FACE NAIL |
| 25 | 2" PLANKS (PLAN & BEAM - FLOOR & ROOF) | 3 - 16d BOX (3-1/2" X 0.135") OR 2 - 16d COMMON (3-1/2" X 0.162") | AT EACH BEARING, FACE NAIL |
| 26 | BAND OR RIM JOIST TO JOIST | 3 - 16d COMMON (3-1/2" X 0.162") OR 4 - 10d BOX (3" X 0.128") OR 4 - 3" X 0.131" NAILS OR 4 - 3" X 1.4 GA STAPLES, 7/16" CROWN | END NAIL |
| 27 | BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS | 20d COMMON (4" X 0.192") OR 10d BOX (3" X 0.128") OR 3" X 0.131" NAILS | NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED 24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES |
| 28 | LEDGER STRIP SUPPORTING JOISTS OR RAFTERS | AND: 2 - 20d COMMON (4" X 0.192") OR 3 - 10d BOX (3" X 0.128") OR 3 - 3" X 0.131" NAILS | FACE NAIL AT ENDS AND AT EACH SPLICE |
| | | 4 - 16d BOX (3-1/2" X 0.135") OR 3 - 16d COMMON (3-1/2" X 0.162") OR 4 - 10d BOX (3" X 0.128") OR 4 - 3" X 0.131" NAILS | AT EACH JOIST OR RAFTER, FACE NAIL |

| | | | |
|---|---|--|---|
| 29 | BRIDGING TO JOIST | 2 - 10d BOX (3" X 0.128") OR 2 - 8d COMMON (2-1/2" X 0.131") OR 2 - 3" X 0.131" NAILS | EACH END, TOE NAIL |
| SPACING OF FASTENERS | | | |
| ITEM | DESCRIPTION OF BUILDING ELEMENTS | NUMBER & TYPE OF FASTENER ^{a,b,c} | EDGES (INCHES) ^b INTERMEDIATE SUPPORTS ^d (INCHES) |
| WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING [SEE TABLE R602.3(1) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING] | | | |
| 30 | 3/8" - 1/2" | 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2-1/2" X 0.131") NAIL (ROOF) | 6 12' |
| 31 | 1/2" - 1" | 8d COMMON (2-1/2" X 0.131") OR RSRS-01; (2-3/8" X 0.113") NAIL (ROOF) | 6 12' |
| 32 | 1-1/8" - 1-1/4" | 10d COMMON (3" X 0.148") NAIL OR 8d (2-1/2" X 0.131") DEFORMED NAIL | 6 12 |
| OTHER WALL SHEATHING ^f | | | |
| 33 | 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 1-1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1-1/4" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN | 3 6 |
| 34 | 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 1-3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1-1/2" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN | 3 6 |
| 35 | 1/2" GYPSUM SHEATHING ^d | 1-1/2" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1-1/2" LONG; 1-1/4" SCREWS, TYPE W OR S | 7 7 |
| 36 | 5/8" GYPSUM SHEATHING ^d | 1-3/4" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1-5/8" LONG; 1-5/8" SCREWS, TYPE W OR S | 7 7 |
| WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING | | | |
| 37 | 3/4" AND LESS | 6d DEFORMED (2" X 0.120") NAIL OR 8d COMMON (2-1/2" X 0.131") NAIL | 6 12 |
| 38 | 7/8" - 1" | 8d COMMON (2-1/2" X 0.131") NAIL OR 8d DEFORMED (2-1/2" X 0.120") NAIL | 6 12 |
| 39 | 1-1/8" - 1-1/4" | 10d COMMON (3" X 0.148") NAIL OR 8d DEFORMED (2-1/2" X 0.120") NAIL | 6 12 |

TABLE R602.3(1) FASTENING SCHEDULE FOOTNOTES

FOR SI: 1 INCH = 25.4 MM, 1 MILE PER HOUR = 0.447 MS; 1 KSI = 6.895 MPa

- NAILS ARE SMOOTH- COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS
- STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM OF 7/16" ON DIAMETER CROWN WIDTH
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER
- 4 FOOT BY 8 FOOT OR 4 FOOT BY 9 FOOT PANELS SHALL BE APPLIED VERTICALLY
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2)
- FOR WOOD STRUCTURAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.
- GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
- WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TWO NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.
- RSRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM F1667.



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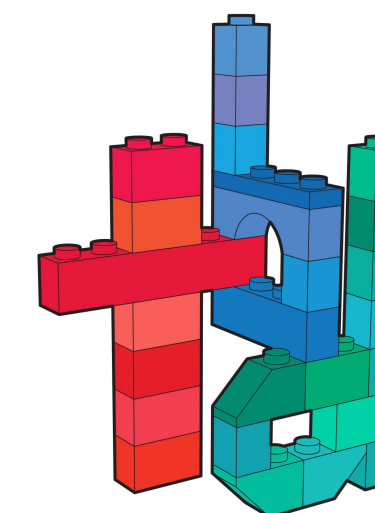
| NO. | REVISION | DATE |
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| 1 | CLIENT MEETING | 05.27.2021 |
| 2 | CLIENT MEETING | 06.14.2021 |
| 3 | ISSUE FOR BID | 06.29.2021 |
| 4 | CLIENT MEETING | 09.10.2021 |
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JOHNSON/ZIMMERMAN
RESIDENCE
 54 MYRTLE AVENUE
 METUCHEN NJ

WALL SECTION, DETAILS,
NAILING SCHEDULE

DATE: 05.10.2021 DRAWN BY: SP
 SCALE: AS NOTED CHECKED BY: TB

A-9



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| 1 | REVISION | 07.26.2022 |

| NO. | REVISION | DATE |
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JOHNSON/ZIMMERMAN
RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ

BASEMENT/ FOUNDATION
ELECTRICAL FLOOR PLAN,
NOTES

| | |
|------------------|----------------|
| DATE: 05.10.2021 | DRAWN BY: SP |
| SCALE: AS NOTED | CHECKED BY: TB |

A-10

ELECTRICAL NOTES:

- ALL INTERIOR WIRING TO BE COPPER ROMEX NM WITH GROUND. ALL NEW WIRING IN ACCORDANCE WITH N.E.C.
- NUMBER OF OUTLETS ON BRANCH CIRCUITS:
7 ON A 15 AMP, 8 ON A 20 AMP
- WIRING TO BE SIZED AS FOLLOWS:
15A - #14
20A - #12
30A - #10
45A - #8
60A - #6
- ALL RECEPTACLES TO BE GROUNDED TYPE.
- BASE RECEPTACLES TO BE 1'-2" ABOVE FINISHED FLOOR, MEASURED FROM CENTER (UNLESS OTHERWISE NOTED).
- FANS IN ROOMS THAT LACK NATURAL VENTILATION SHALL BE SIZED TO EXPEL A MINIMUM OF 2 CFM PER SQUARE FOOT OF ROOM. FANS IN TOILET ROOMS THAT LACK NATURAL VENTILATION SHALL BE SIZED TO EXPEL AT LEAST 70 CFM.
- ALL FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW APPLIANCE CONNECTIONS. PROVIDE NEW CIRCUITS AS REQUIRED.
- INVESTIGATE EXISTING ELECTRICAL SERVICE. UPGRADE TO NEW 200 AMP ELECTRICAL SERVICE WITH NEW 40 POLE PANEL.
- SERVICE CABLE TO BE SIZED AS REQUIRED AND INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS.
- SWITCHES TO BE ZOOZ Z-WAVE PLUS DIMMER TOGGLE (ZEN23) OR APPROVED EQUAL. COORDINATE WITH OWNER FOR SMART SWITCH SYSTEM REQUIREMENTS.

KITCHEN ELECTRICAL NOTES:

- LOCATIONS OF OUTLETS AND SWITCHES TO BE CONFIRMED WITH OWNER AND KITCHEN DESIGNER PRIOR TO ROUGH WIRING
- ALL KITCHEN RECEPTACLES AT COUNTERS TO BE GFI & COUNTER HEIGHT
- COORDINATE COMPUTER, PHONE, AND CABLE CONNECTIONS WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING

ATTIC NOTES:

PROVIDE THE FOLLOWING IN THE ATTIC:

- COORDINATE ELECTRICAL REQUIREMENTS FOR MECHANICAL EQUIPMENT WITH ELECTRICAL CONTRACTOR.
- (1) SMOKE/ CARBON MONOXIDE DETECTOR COMBINATION
- (3) LED UTILITY LIGHTS WITH SWITCH. COORDINATE W/ OWNER FOR EXACT LOCATION
- (3) DUPLEX RECEPTACLES. COORDINATE W/ OWNER FOR EXACT LOCATION

HVAC NOTE:

- QUANTITY AND LOCATIONS FOR HVAC SUPPLIES, RETURNS, THERMOSTATS, AND/OR RADIATORS ARE PROPOSED BASED ON AESTHETICS. HVAC SUBCONTRACTOR SHALL SCHEDULE A WALKTHROUGH WITH THE OWNER & ARCHITECT TO VERIFY QUANTITY AND LOCATIONS OF PIPES, DUCTS, SUPPLIES, RETURNS, THERMOSTATS, AND/OR RADIATORS PRIOR TO ROUGHING DUCTWORK. HVAC SUBCONTRACTOR SHALL EVALUATE PROPOSED LOCATIONS AND QUANTITY OF SUPPLIES AND RETURNS FOR EFFICIENCY.

MECHANICAL EQUIPMENT NOTE:

- G.C. TO CONSULT WITH ARCHITECT TO DETERMINE THE BEST LOCATION FOR NEW HVAC UNITS, HOT WATER HEATERS, BOILERS, ELECTRICAL PANELS, GAS & WATER SERVICES, ETC.

SOLAR PANEL NOTES:

- COORDINATE WITH SOLAR PANEL VENDOR/ DESIGNER & PROVIDE ANY ELECTRICAL REQUIREMENTS FOR FUTURE INSTALLATION.

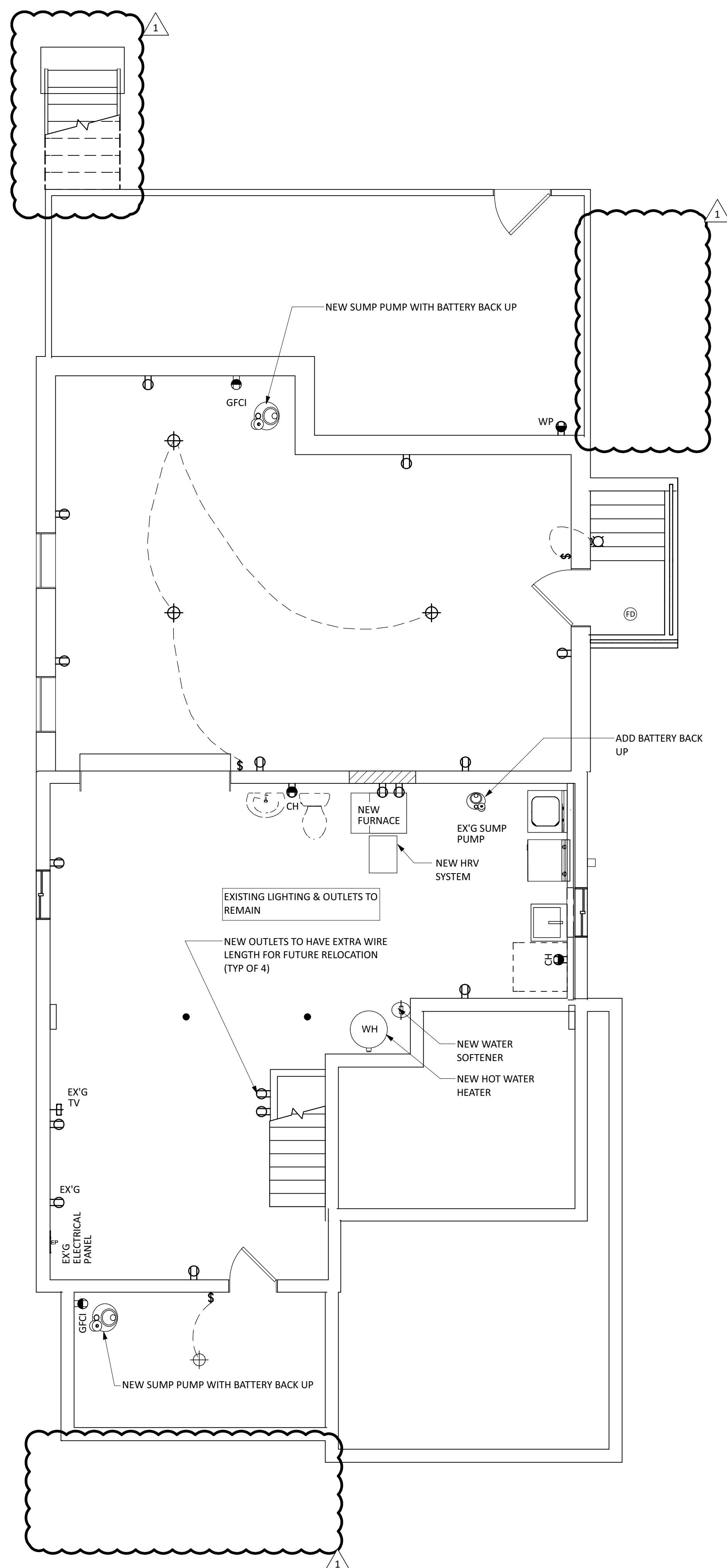
CARBON MONOXIDE ALARM NOTES:

- CARBON MONOXIDE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: ONE IN THE IMMEDIATE VICINITY OF ALL SLEEPING ROOMS IN BUILDINGS THAT CONTAIN FUEL-BURNING APPLIANCES OR HAVE ATTACHED GARAGES. IF A FUEL BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.
 - THE ALARM MAY BE LOCATED ON THE WALL, CEILING OR OTHER LOCATIONS AS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - THE DEVICE IS REQUIRED TO BE SUPPORTED INDEPENDENTLY OF ITS ATTACHMENT TO WIRES.
 - FOR ALARMS INSTALLED IN THE VICINITY OF SLEEPING ROOMS, THE ALARM NOTIFICATION APPLIANCE IS REQUIRED TO BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS AND WITHIN ALL INTERVENING DOORS CLOSED, WITH A MINIMUM RATING OF 85DBA AT 10 FEET (3M). IF THE ALARM IS INTENDED TO NOTIFY OCCUPANTS IN THE SAME ROOM, THE SOUND PRESSURE LEVEL IS PERMITTED TO BE 75DBA AT 10 FEET.
- THE CARBON MONOXIDE DETECTOR ALARM IS REQUIRED TO BE MANUFACTURED, LISTED, AND LABELED IN ACCORDANCE WITH UL 2034 ENTITLED, "SINGLE" AND UL 217 "COMBINATION CARBON MONOXIDE/ SMOKE ALARMS." EACH DEVICE SHALL HAVE A LABEL INDICATING THAT IT MEETS THIS REQUIREMENT.
- THE POWER SOURCE IS REQUIRED TO FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE. ALARMS SHALL RECEIVE POWER FROM A BATTERY WHEN THE PRIMARY POWER SOURCE IS INTERRUPTED. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
 - THE ALARM SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER.
- THE RESIDENCE REQUIRES CARBON MONOXIDE DETECTOR ALARMS. CONTRACTOR TO CONFIRM LOCATION OF ALARMS WITH LOCAL CODE ENFORCEMENT OFFICIAL PRIOR TO WIRING.
- COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE ALARMS THAT MEET THE ABOVE REQUIREMENTS MAY BE SUBSTITUTED.
- REFER TO IRC 2018 R315 FOR ADDITIONAL REQUIREMENTS/ EXCEPTIONS.

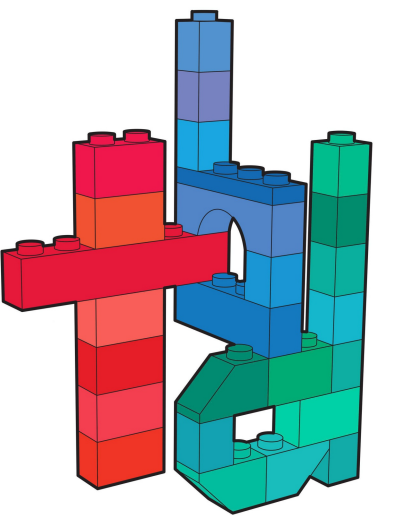
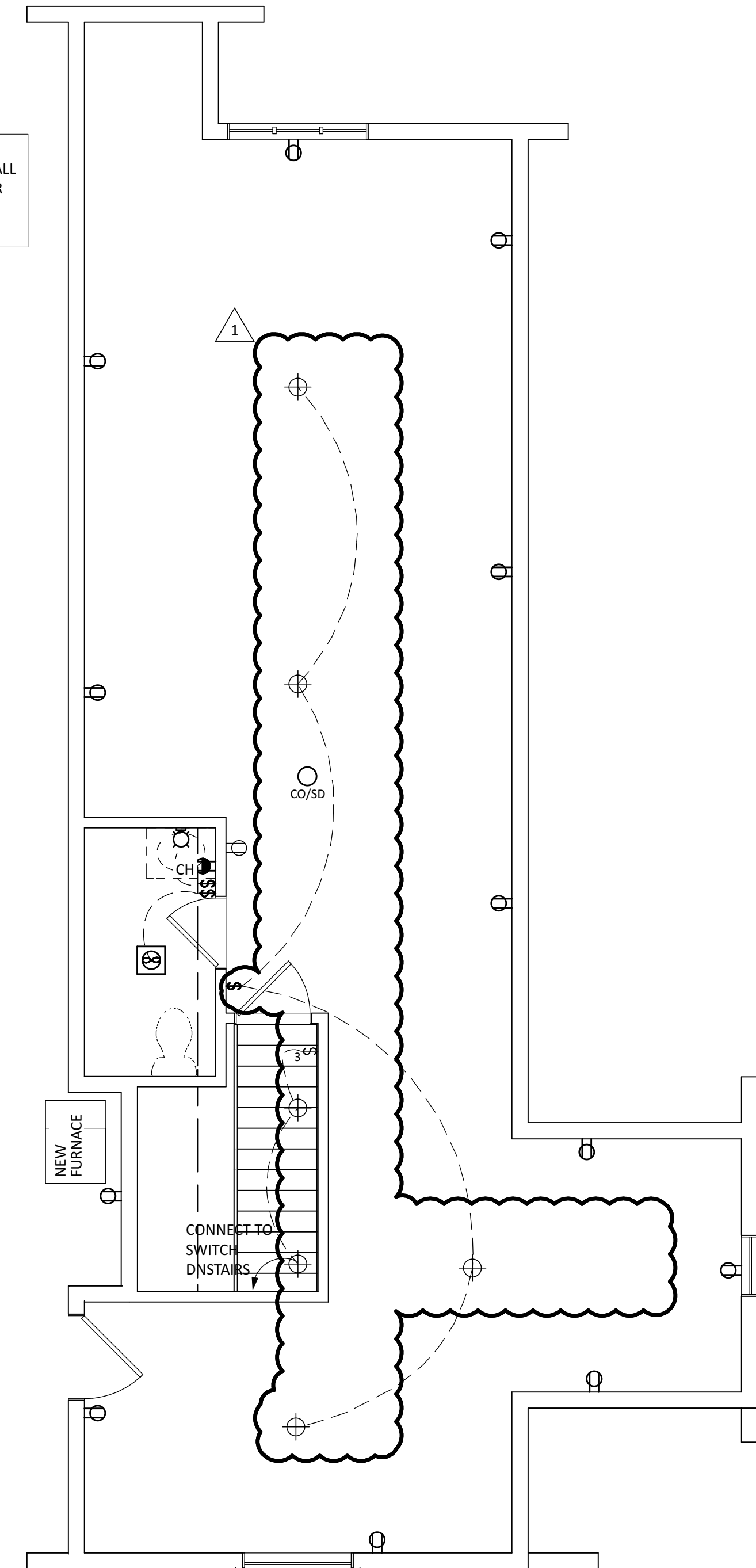
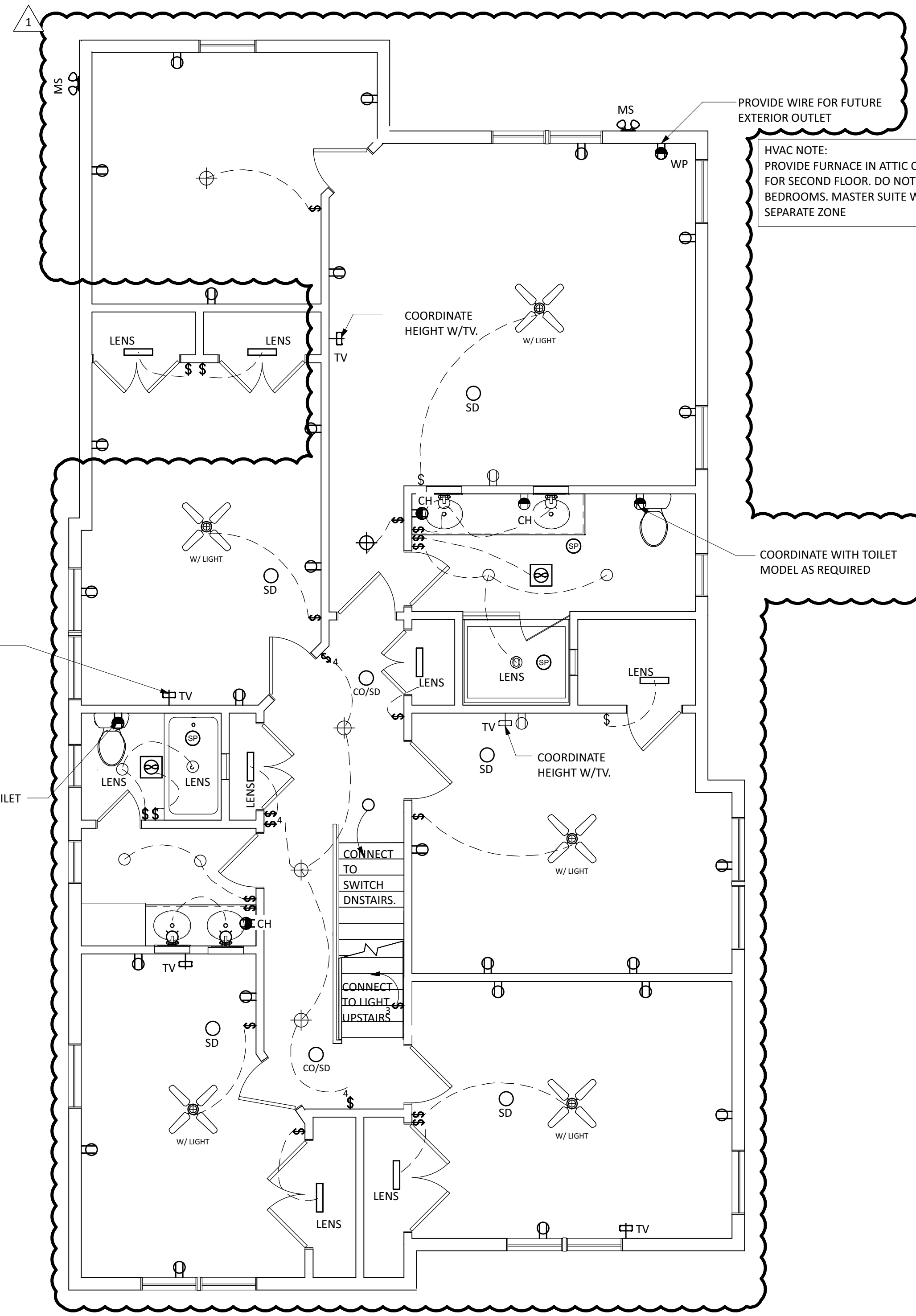
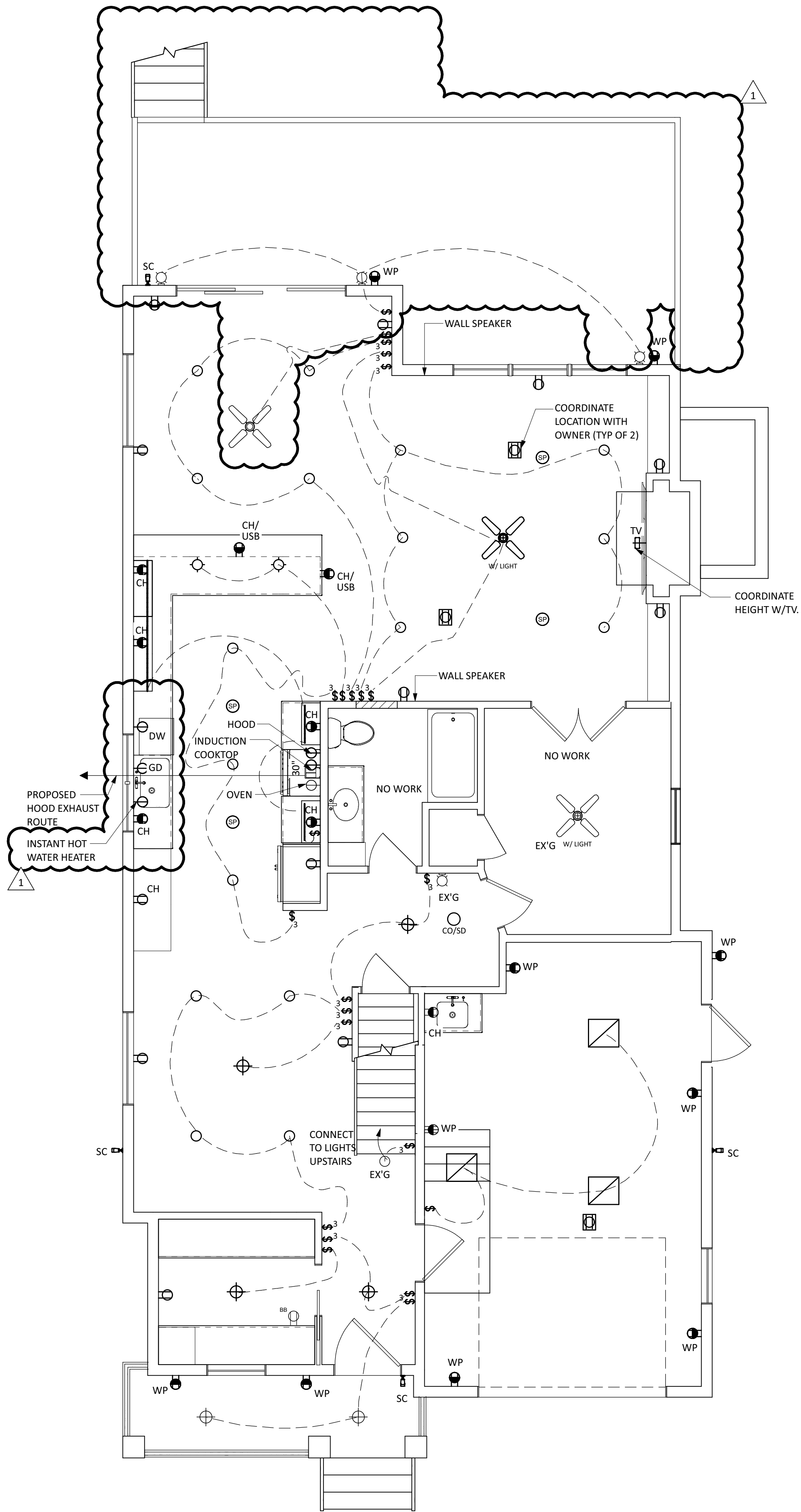
SMOKE DETECTOR ALARM NOTES:

- SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: ONE IN EVERY SLEEPING ROOM, ONE IN THE IMMEDIATE VICINITY EVERY SLEEPING ROOM DOOR, ONE ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, AND ONE WITHIN 3 FEET FROM THE DOOR OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
 - SMOKE DETECTOR ALARMS SHALL NOT BE INSTALLED IN THE VICINITY OF A PERMANENT COOKING APPLIANCE AS FOLLOWS: IONIZATION ALARM: WITHIN 20 FEET, IONIZATION ALARM W/ AN ALARM SILENCING SWITCH: WITHIN 10 FEET, PHOTOELECTRIC ALARM: WITHIN 6 FEET.
- WITHIN EACH INDIVIDUAL DWELLING UNIT, THE DEVICES ARE REQUIRED TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. PHYSICAL INTERCONNECTION SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
- THE POWER SOURCE IS REQUIRED TO FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE. ALARMS SHALL RECEIVE POWER FROM A BATTERY WHEN THE PRIMARY POWER SOURCE IS INTERRUPTED. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
- THE RESIDENCE REQUIRES SMOKE DETECTOR ALARMS. CONTRACTOR TO CONFIRM LOCATION OF ALARMS WITH LOCAL CODE ENFORCEMENT OFFICIAL PRIOR TO WIRING.
- COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE ALARMS THAT MEET THE ABOVE REQUIREMENTS MAY BE SUBSTITUTED.
- REFER TO IRC 2018 R314 FOR ADDITIONAL REQUIREMENTS/ EXCEPTIONS.

| ELECTRICAL SYMBOLS | | | |
|--------------------|--|--------|--|
| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
| | EXHAUST FAN | | HARDWIRE CONNECTION- DEDICATE WHERE REQUIRED |
| | PENDANT | | DUPLEX RECEPTACLE |
| | RECESSED DOWNLIGHT | | FLOOR OUTLET |
| | CEILING MOUNTED FIXTURE | | OVERHEAD OUTLET |
| | WALL SCONCE | | QUADRAPLEX RECEPTACLE |
| | CHANDELIER LIGHT FIXTURE | | GFCI OUTLET |
| | LED LIGHT FIXTURE (CL.) | | LED UNDER CABINET LIGHTS |
| | LED UTILITY LIGHT | | SWITCH |
| | FLOOD LIGHT | | SWITCH- 3 WAY |
| | CABLE TV RECEPTACLE | | SWITCH- DIMMER |
| | COMPUTER / DATA RECEPTACLE | | SWITCH- TIMER |
| | HARDWIRED SMOKE DETECTOR WITH BATTERY BACKUP | | WATER PROOF |
| | CARBON MONOXIDE/ SMOKE DETECTOR | | MOUNT IN BASEBOARD |
| | ELECTRICAL PANEL | | MOUNT IN CABINET |
| | TV LOCATION: | | COUNTER HEIGHT |
| | -HDMI CONNECTION | | MOTION SENSOR |
| | -QUAD OUTLET | | CEILING SPEAKER |
| | -ETHERNET | | |
| | -CABLE | | |
| | SECURITY CAMERA | | |



1 BASEMENT/ FOUNDATION ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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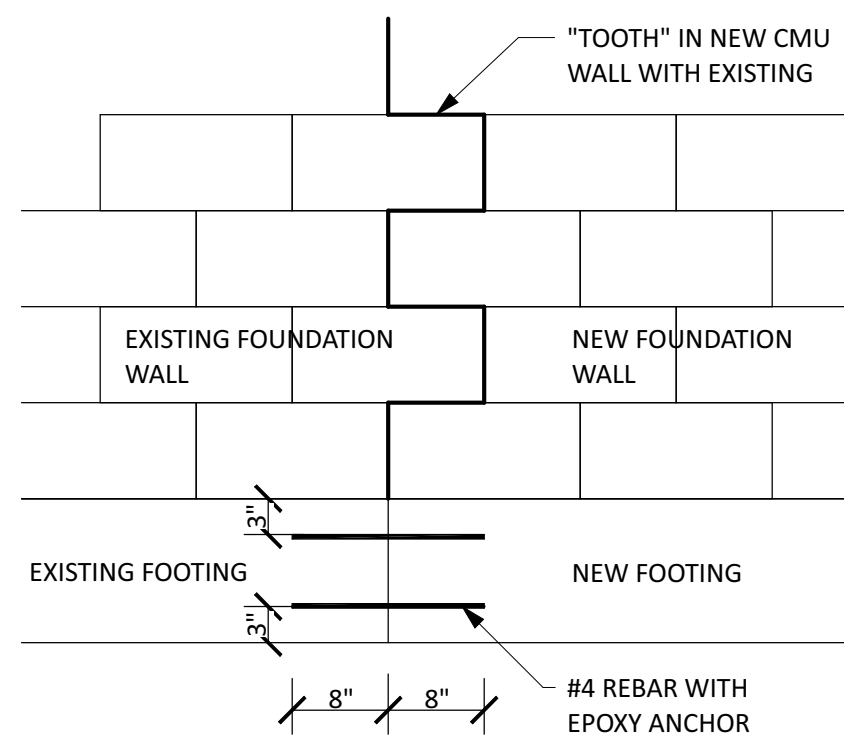
CONSULTANTS:

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| 1 | CLIENT MEETING | 05.27.2021 |
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NO. REVISION DATE
JOHNSON/ZIMMERMAN RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ
FIRST, SECOND FLOOR & ATTIC ELECTRICAL PLANS

DATE: 05.10.2021 DRAWN BY: SP
SCALE: AS NOTED CHECKED BY: TB

A-11



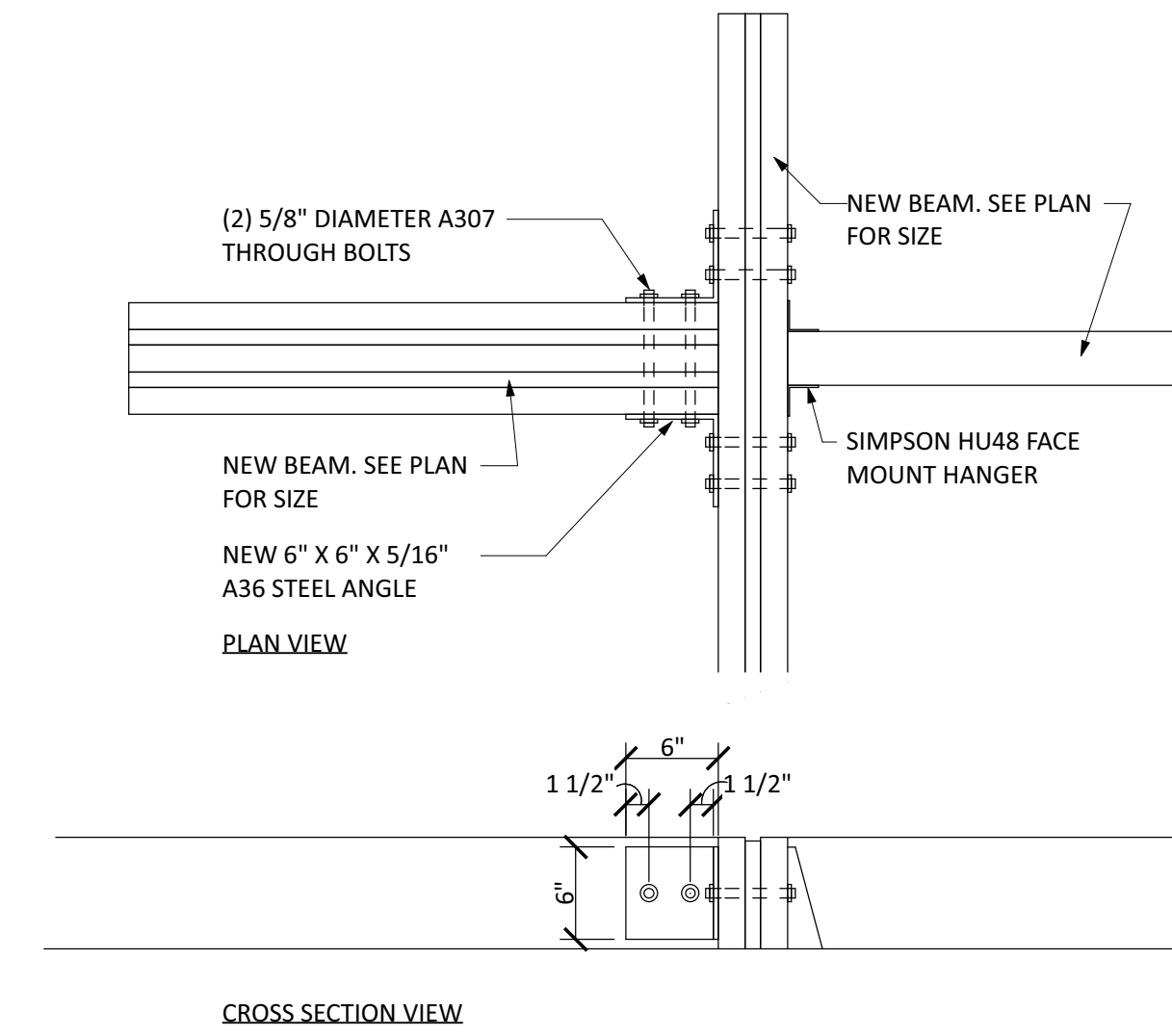
1 EX'G FOUNDATION TO NEW DETAIL
SCALE: 3/4" = 1'-0"



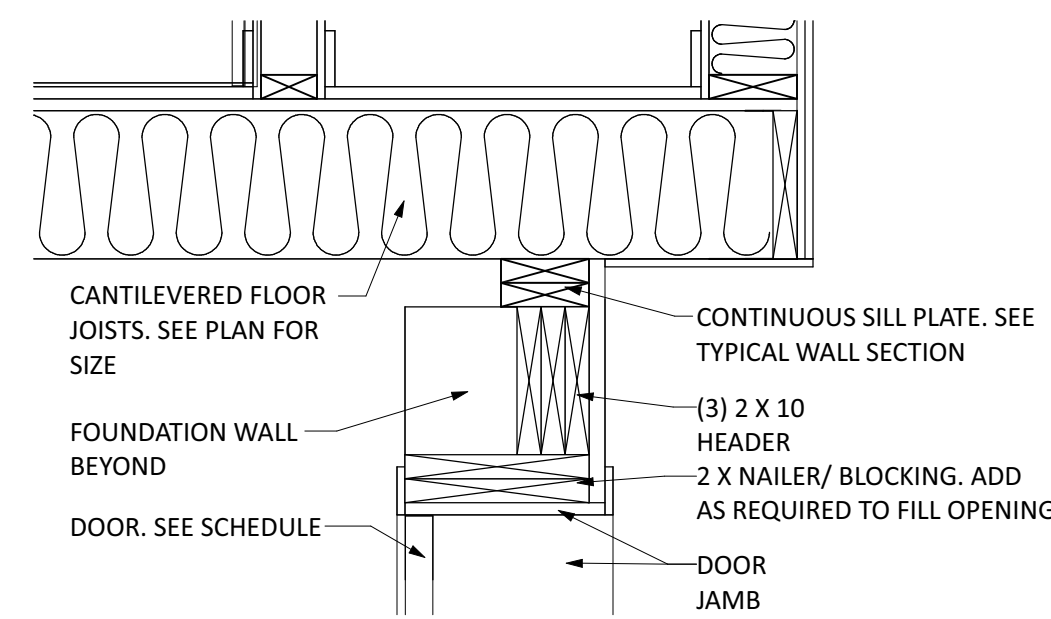
2 FRONT STEPS FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"

INTERIOR STAIR NOTE:

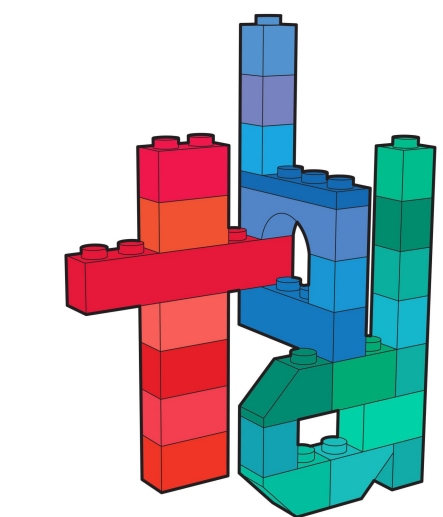
1. STAIN GRADE WOOD TREADS, POSTS & RAILS
2. PAINT GRADE WOOD RISERS, BALUSTERS & TRIM
3. RISE: 8" MAX
4. BASEMENT STEP TREAD: 11 + 1" NOSING (12" TOTAL)
5. ATTIC STAIR TREAD: 9" + 1" NOSING (10" TOTAL)
6. VERIFY # OF RISERS PRIOR TO ORDERING
7. STAIR TO HAVE 6'-8" HEAD CLEARANCE THROUGHOUT ENTIRE RUN
8. PROVIDE A CONTINUOUS HANDRAIL ON ONE SIDE OF STAIR MIN. (4 OR MORE RISERS); HANDRAIL TO TERMINATE INTO WALL. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



3 FLITCH BEAM CONNECTION DETAIL
SCALE: 1" = 1'-0"



4 BASEMENT DOOR HEADER DETAIL
SCALE: 1" = 1'-0"



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NO. REVISION DATE

JOHNSON/ZIMMERMAN
RESIDENCE
54 MYRTLE AVENUE
METUCHEN NJ

FOUNDATION DETAILS,
FLITCH BEAM DETAILS,
BUILDING SECTIONS

DATE: 05.10.2021 DRAWN BY: SP
SCALE: AS NOTED CHECKED BY: TB

A-12