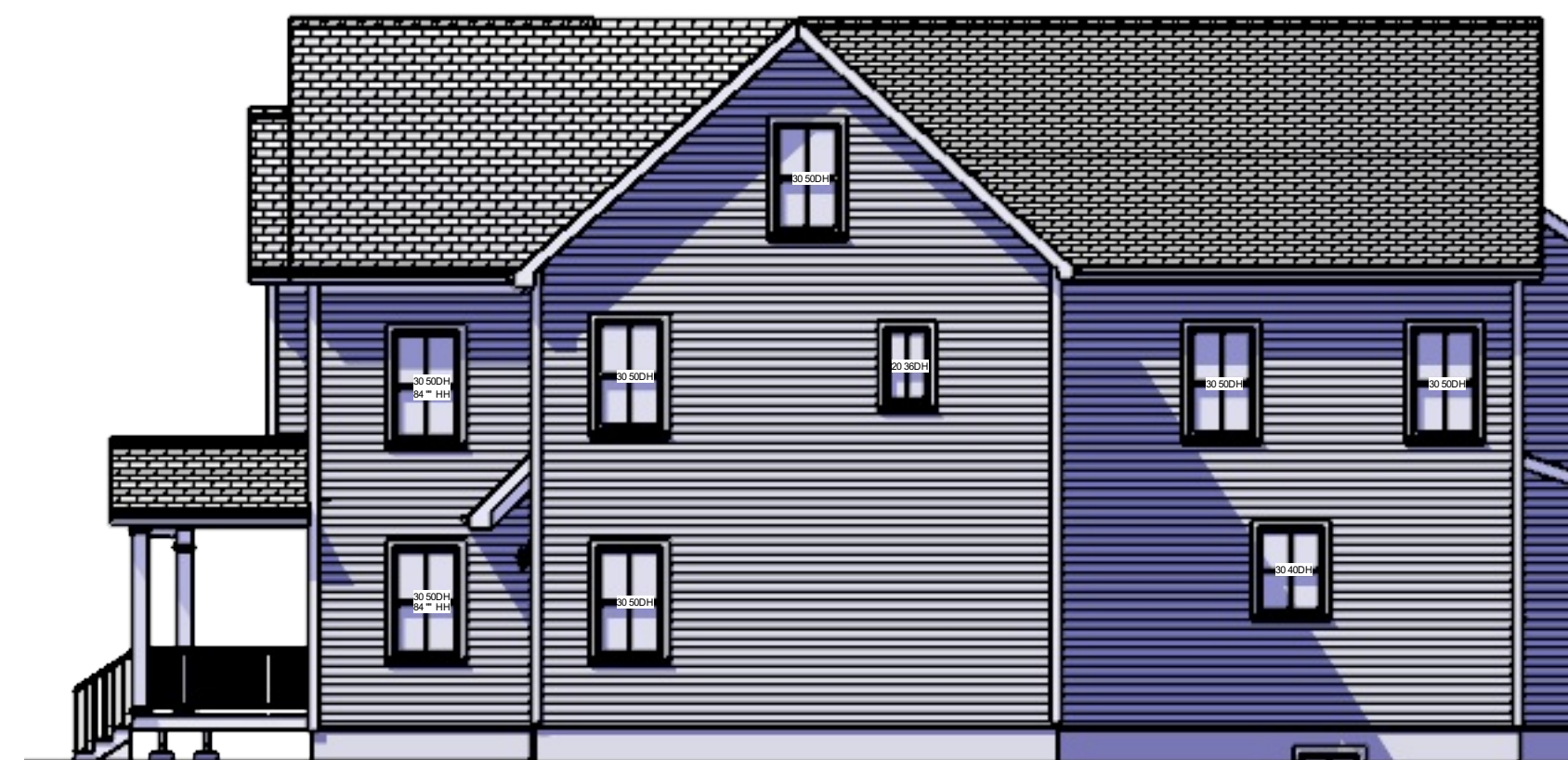
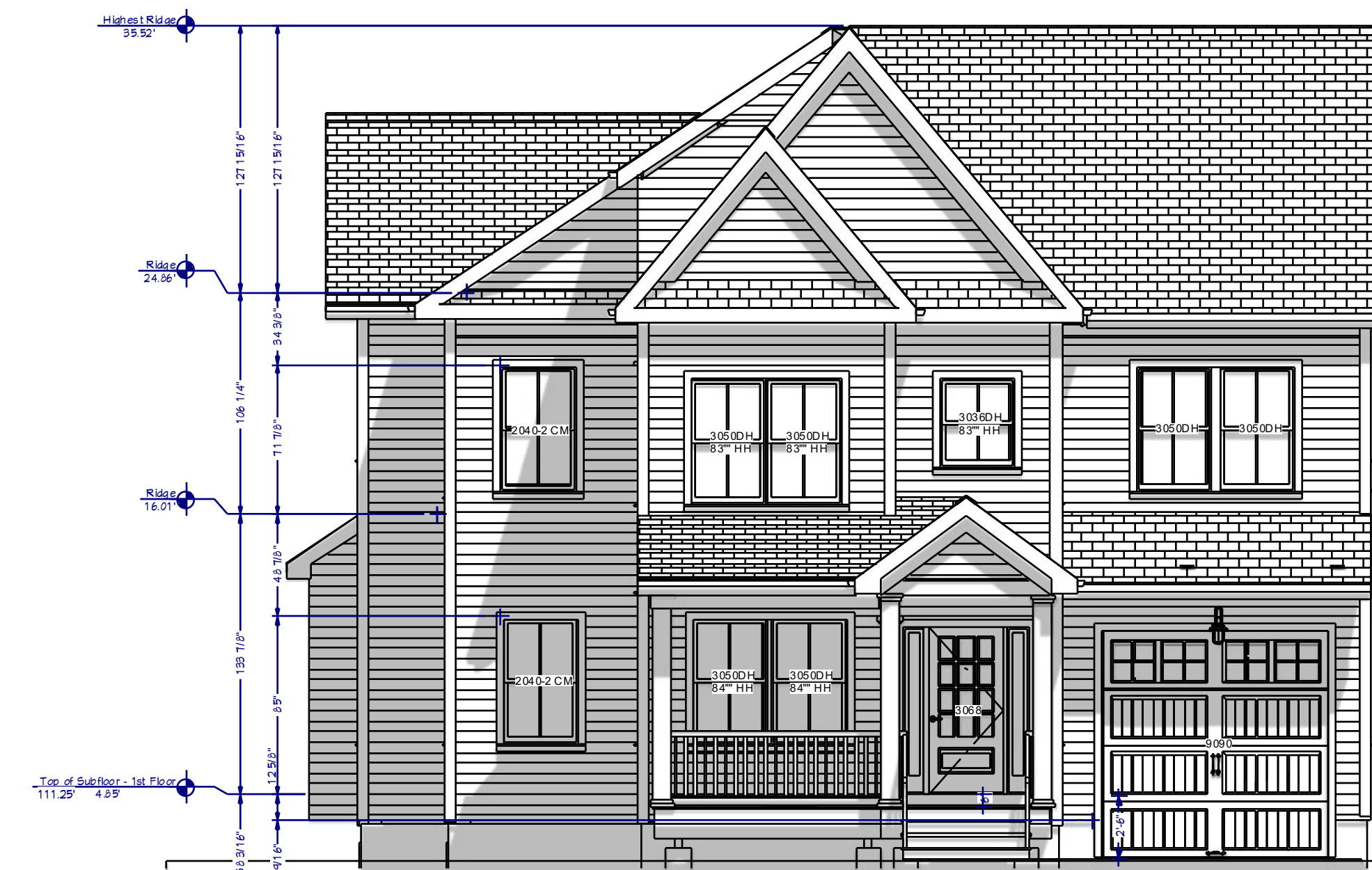




LEFT SIDE ELEVATION 1/8 in = 1 ft



RIGHT SIDE ELEVATION 1/8 in = 1 ft



Elevation FRONT 3/16 in = 1 ft

ATTIC VENTILATION:  
 PROVIDE SQUARE INCH OF VENTILATION FOR EVERY SQUARE FOOT OF ATTIC AREA. SOFFIT VENTILATION AREA SHALL CLOSELY MATCH RIDGE VENT AREA.

PROVIDE 2x6 COLLAR TIES @ 16" O.C. SET HEIGHT 1/3 DOWN THE VERTICAL DISTANCE FROM THE BOTTOM OF THE RIDGE TO THE RAFTER BIRDS MOUTH CUT.

PROVIDE CONTINUOUS MULTI-PITCH FILTER VENT BY CERTAIN TEE (SERIES FV10) OR EQUIV. FASTENED TO UNDERLAYMENT WITH 1 1/4" NAILS.

PROVIDE FIBERGLASS ROOF SHINGLES TO BE SELECTED BY OWNER OVER ROOFERS. SELECT FELT BY "CERTAIN TEE" OR EQUIV.

PROVIDE 2" x 10" HEADERS OVER ALL WINDOWS AND DOORS IN EXTERIOR AND INTERIOR BEARING WALLS UNLESS OTHERWISE NOTED.

PROVIDE 3/4" W/ATER GUARD ICE SHIELD BY "CERTAIN TEE" ALONG VALLEYS AND LEAVES OR EQUIV.

PROVIDE VENTED SOFFIT.

PROVIDE SIDING TO BE SELECTED BY OWNER.

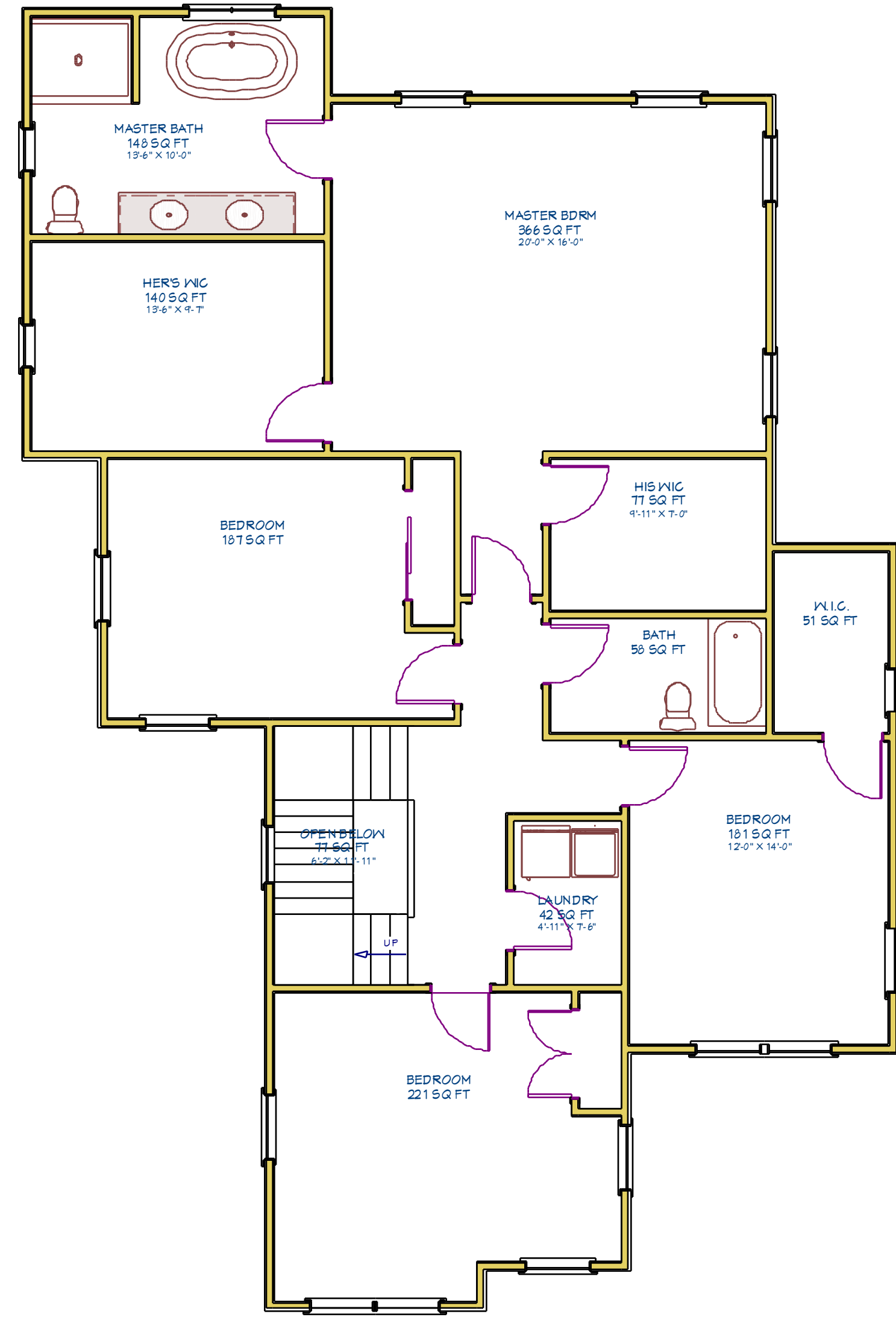
PROVIDE ALUMINA GUTTERS LEADERS. COLOR SELECTED BY OWNER.

PROVIDE POSITIVE SLOPE AWAY FROM BUILDING 1-12 MIL/FT AWAY FROM PERIMETER OF BUILDING.

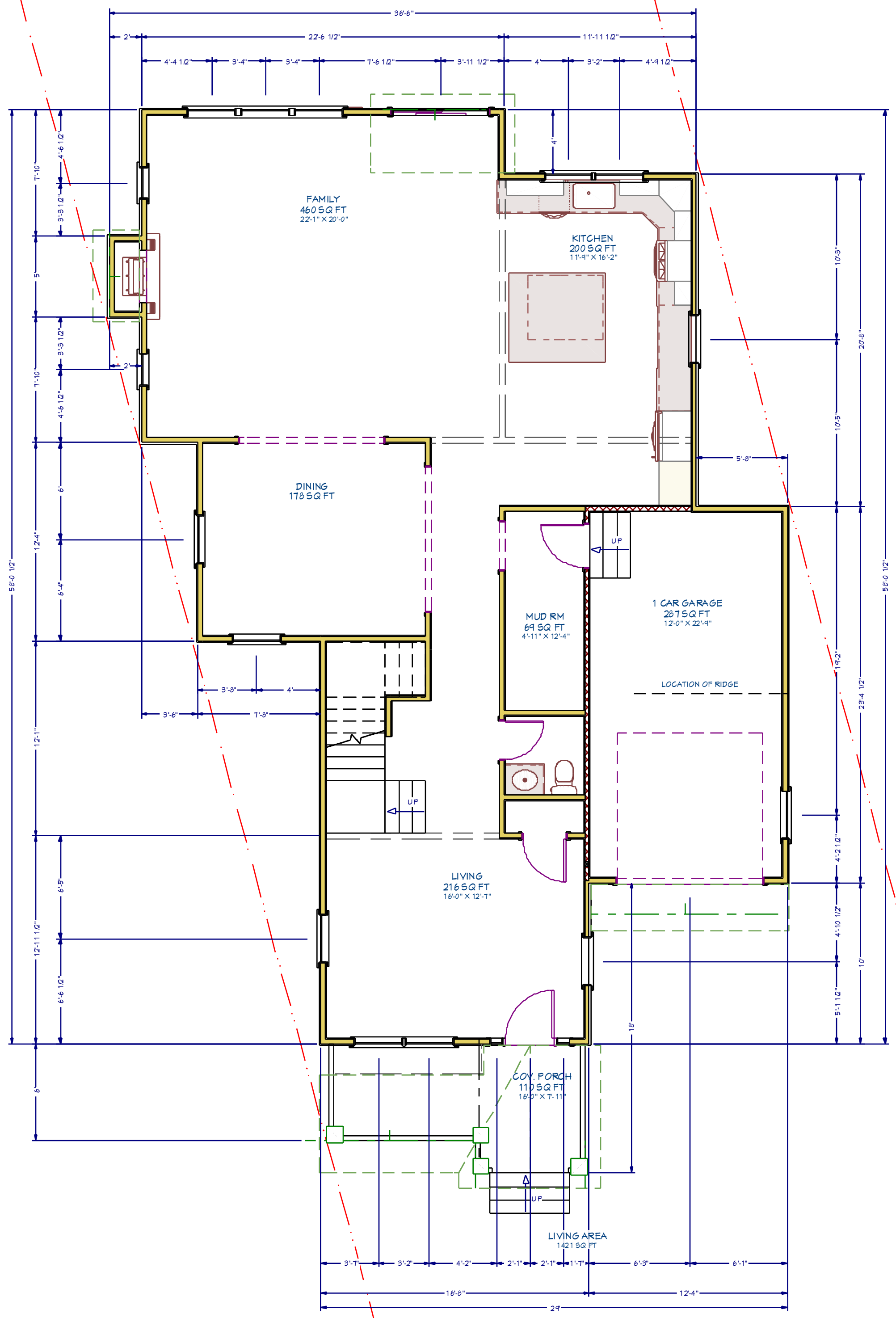
PROVIDE 1/2" THICK CEMENT PAVING ON ALL EXPOSED CMU AREAS.



REAR ELEVATION 1/8 in = 1 ft



2nd Floor 3/16 in = 1 ft



1st Floor 3/16 in = 1 ft



SIGNATURE BLOCK	DATE
BOARD ATTORNEY	
BOARD PLANNER	
BOARD ENGINEER	

SCOPE OF WORK  
 PROPOSAL FOR A NEW SINGLE FAMILY HOME AS INDICATED WITHIN THESE CONSTRUCTION DRAWINGS.

NOTES:  
 -ALL LUMBER SHALL BE DOUGLAS FIR #2  
 -ALL NON-STRUCTURAL METAL STUDS SHALL BE 25 GAUGE  
 USE GROUP: RS  
 CONSTRUCTION CLASS: 5B

SQUARE FOOTAGE	
1421 SF	FIRST FLOOR
120 SF	FRONT PORCH & STEPS
0 SF	REAR STEPS
287 SF	GARAGE
1605 SF	SECOND FLOOR
3044 SF	TOTAL HEATED LIVING AREA
42,551 CF	TOTAL VOLUME IN CUBIC FEET

BUILDING HEIGHT: TWO STORIES - 34.51'

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 3. No part of these drawings shall be used for any other project without the prior written consent of the architect.  
 4. No part of these drawings shall be used for any other project without the prior written consent of the architect.

NO.	DESCRIPTION	BY	DATE

**PROJECT DESCRIPTION:**  
 ROSAMILLA PROPERTY MANAGEMENT, LLC  
 HIGHLAND AVENUE LOT C  
 METUCHEN, NJ  
 Job No. 19-072 Lot C VARIANCE

**MARCELLI ARCHITECTURE**  
 505 Main Street  
 Second Floor, Metuchen NJ 08840  
 732-662-5824  
 mark@marcelli-arch.com  
 6th Ave Seaside Park, NJ 08752

**DATE:** 12.09.2020  
**SCALE:**  
**AS NOTED**  
**SHEET:** A-1

PA LICENSE # 40392