


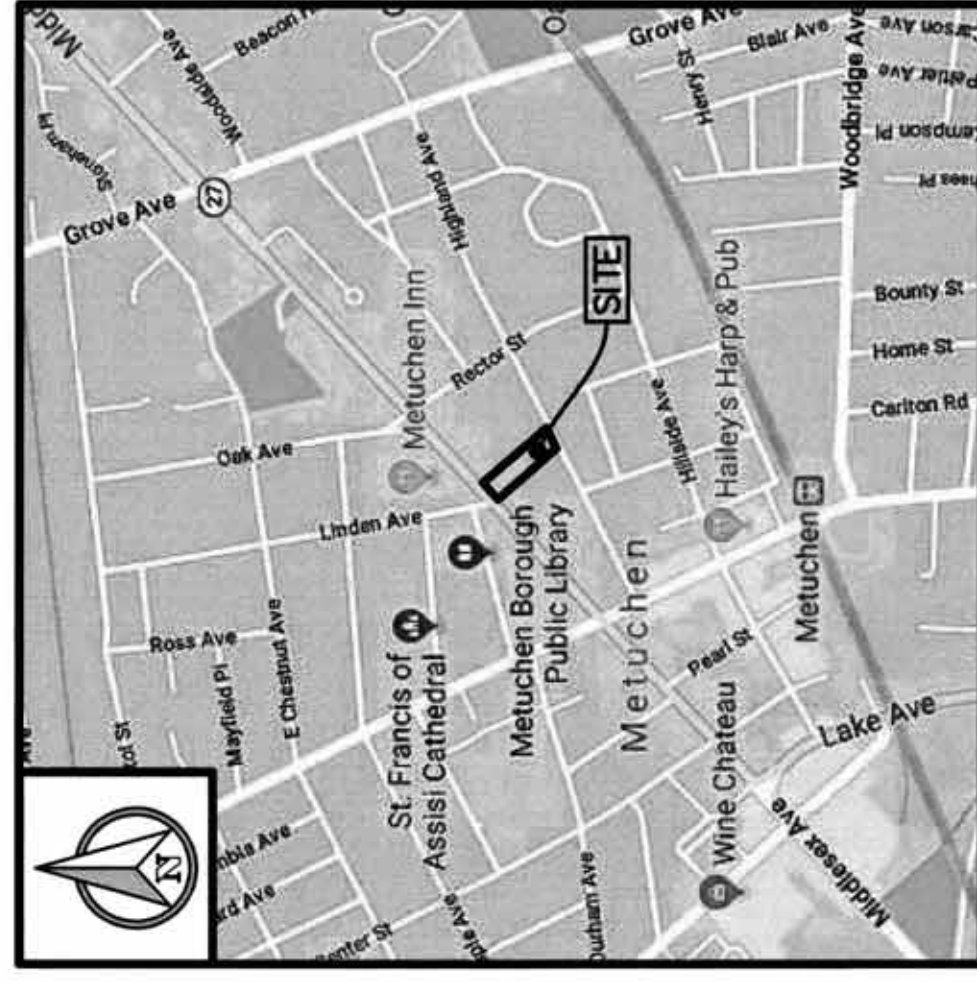


PROJECT NUMBER 2019.042	HIGHLAND AVENUE SUBDIVISION	 <p>THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, ENGINEERS, CONTRACTORS OR ANY PERSONS PREPARING ANY WORK THAT MAY AFFECT THE SURFACE ANYWHERE IN THE STATE.</p>	 <p>Civil Engineering Consultants                  Professional Planners                  261 Cleveland Avenue                  Highland Park, NJ 08904                  menloeng.com   in   f   o   u   t   o   o   k   s                  732-846-8585 732-846-9439                  Certificate of Authorization: 246A7951900</p>
HIGHLAND AVENUE SUBDIVISION		HIGHLAND AVENUE SUBDIVISION BOROUGH OF METUCHEN MIDDLESEX COUNTY NEW JERSEY BLOCK 117, LOT 93 TAX MAP SHEET #54 1.114 ACRES	
COVER SHEET		APPROVED BY: _____ DATE: _____ CHECKED BY: _____ DATE: _____ APPROVED BY: _____ DATE: _____ THIS WORK PREPARED UNDER MY IMPARTIAL SUPERVISION.  WILLIAM A. LANE PROFESSIONAL ENGINEER NO. 4082	
OWNER & APPLICANT AROS DEVELOPMENT LLC 43 OAK AVENUE METUCHEN, NJ 08840 (732) 742-7851		APPROVED BY: _____ DATE: _____ CHAIRMAN SECRETARY ENGINEER BOROUGH CLERK	
PROJECT NUMBER: 2019.042 DATE: JUNE 24, 2019 REVISION: DECEMBER 21, 2020 SHEET: 1 OF 1			

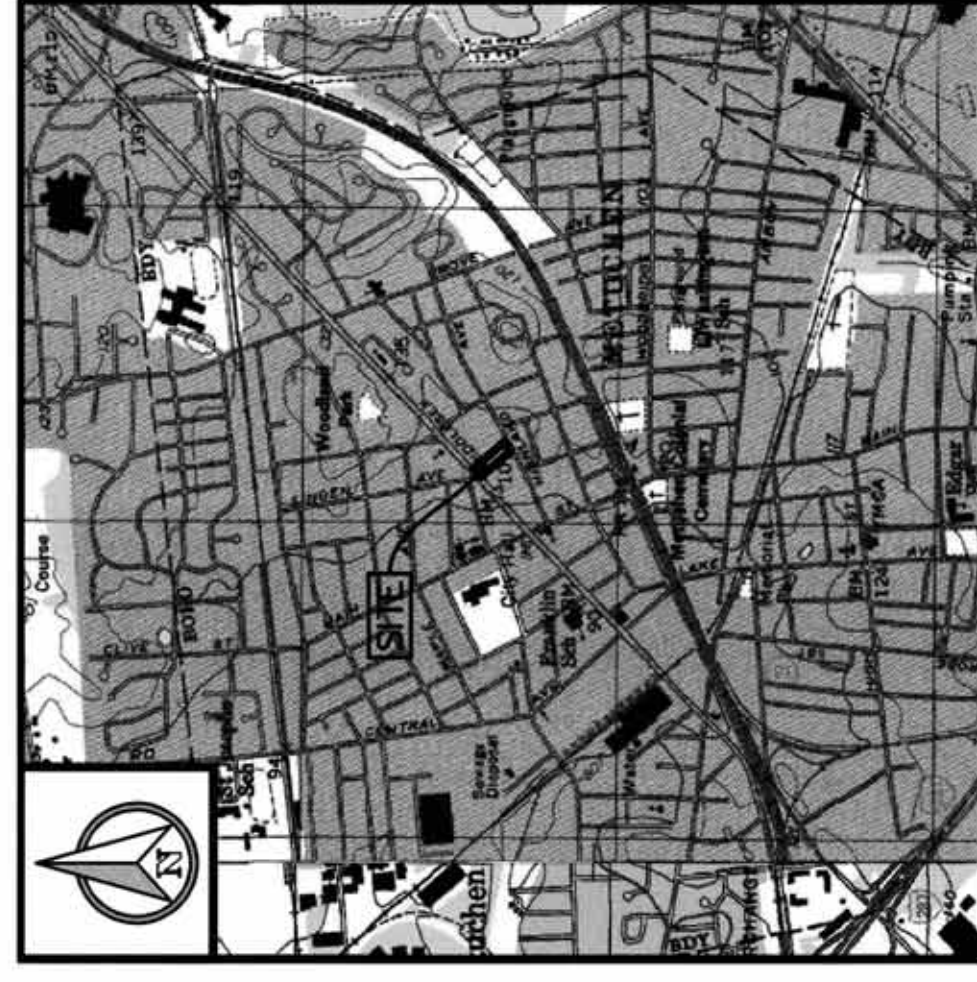
PRELIMINARY/FINAL MAJOR SUBDIVISION  
for

# HIGHLAND AVENUE SUBDIVISION

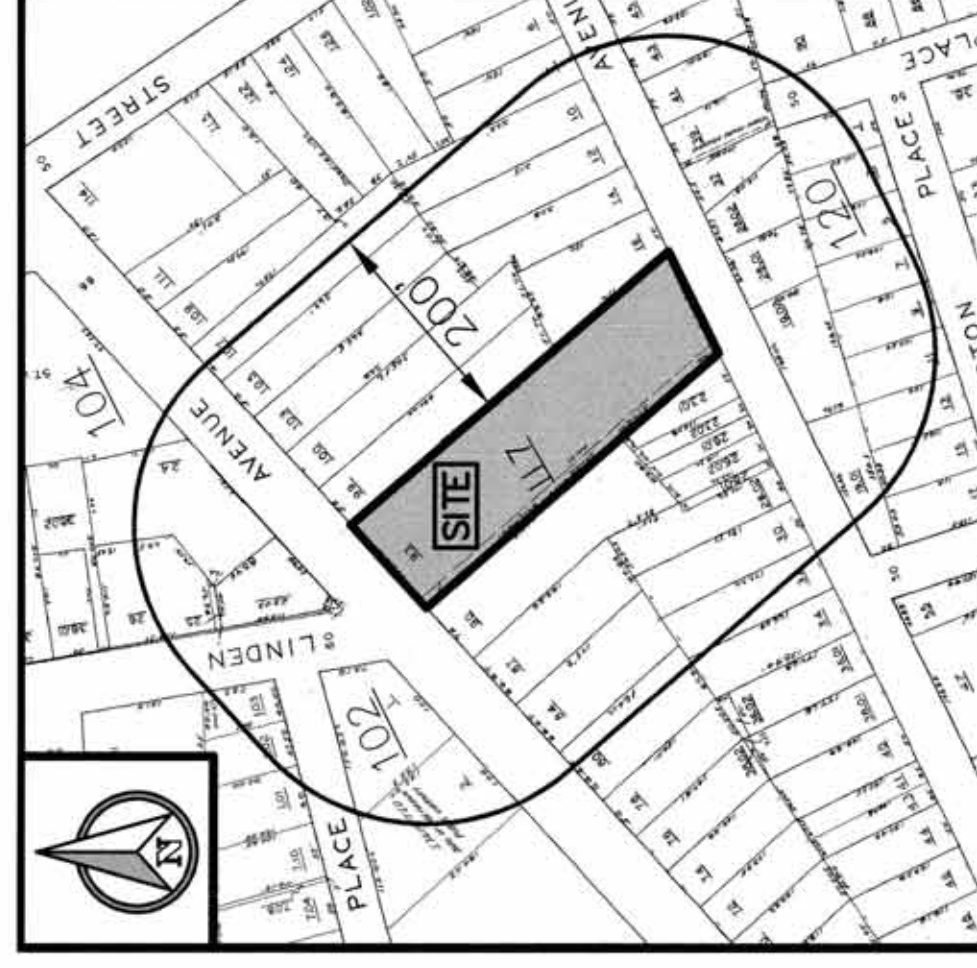
BOROUGH OF METUCHEN  
MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 117, LOT 93



ROAD MAP  
1"=1,500'



U.S.G.S. MAP  
1"=2,000'



TAX MAP  
1"=200'



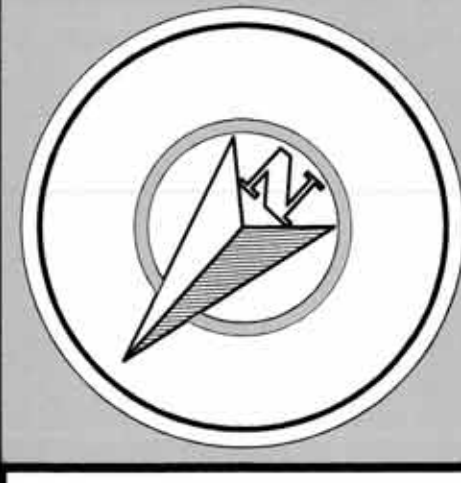
ZONE MAP  
1"=1,000'

**200' OWNERS LIST**

BLOCK	LOT	NAME & ADDRESS
101	1.1	Gerard & Patricia Lapointe 57 Highland Avenue Metuchen, NJ 08840
101	1.2	Matthew Bishara & Cora M. Turilli 59 Liberty Place Metuchen, NJ 08840
101	1.3	Karen & Francis Capron 61 Liberty Place Metuchen, NJ 08840
102	1	456 Middlesex Ave. LLC 456 Middlesex Ave. Metuchen, NJ 08840
102	2	Borough of Metuchen 500 Main Street Metuchen, NJ 08840
104	24	M.E. Dorr/HMS MBH NRB-830 77 Ave. Louis Pasteur Boson, MA 02115
104	25, 26	Jose Garimake & Trevor Dale 8 Linden Avenue Metuchen, NJ 08840
117	7	Robert P. & Hillary E. Lorenzo 43 Oak Avenue Metuchen, NJ 08840
117	10	Sean & Kate Massey 43 Oak Avenue Metuchen, NJ 08840
117	12	Douglas Gully 91 Highland Avenue Metuchen, NJ 08840
117	14	Gilberto Perez & Alexandra Riera 89 Highland Avenue Metuchen, NJ 08840
117	16	John & Carmen Zimbo 87 Highland Avenue Metuchen, NJ 08840
117	23.1, 23.2, 26.1	Teroslaw & Halina Malinowski 31 Washington Place Metuchen, NJ 08840
117	26.2, 28.1	Arthur W. Morris 397 Silver Bush Drive Holly Hill, FL 32115-574
117	28.2	Alfred & Patricia Shimato 27 Washington Place Metuchen, NJ 08840
117	30	Christopher Schaefer & Candice Joe 501 Highland Avenue Metuchen, NJ 08840
117	32	Robert P. Massey & Debra D'Angelo 53 Highland Avenue Metuchen, NJ 08840
117	34	Dominick & Debra Marano 47 Highland Avenue Metuchen, NJ 08840
117	80	Richard S. & Marie S. Smith 471 Middlesex Avenue Metuchen, NJ 08840
117	84	Maggie May Enterprises LLC 467 Middlesex Avenue Metuchen, NJ 08840
117	87	Laura & Larry Weiss 459 Middlesex Avenue Metuchen, NJ 08840
117	90	Jose Garimake & Trevor Dale 455 Middlesex Avenue Metuchen, NJ 08840
117	93	Robert P. & Hillary E. Lorenzo 43 Oak Avenue Metuchen, NJ 08840
117	99	Sean & Kate Massey 43 Oak Avenue Metuchen, NJ 08840
117	100	Douglas Gully 91 Highland Avenue Metuchen, NJ 08840
117	103, 105	Martin K. Jank & Carolyn Heame 427 Middlesex Avenue Metuchen, NJ 08840
117	107	Teroslaw & Halina Malinowski 31 Washington Place Metuchen, NJ 08840
119	1	Adrian Miller 31 Washington Place Metuchen, NJ 08840
119	3	Barbara D. Weisenberger 29 Washington Place Metuchen, NJ 08840
119	5	Alfred & Patricia Shimato 27 Washington Place Metuchen, NJ 08840
119	7	Robert & Jacqueline Berch 80 Park Plaza, 708 Metuchen, NJ 08840
119	9	Adam & Sarah Hartman 233 Washington Place Metuchen, NJ 08840
119	11	Brian & Jennifer Chastaine 19 Washington Place Metuchen, NJ 08840
119	13.01	Gerald S. & Shirley D. Windsor 74 Robins Place Metuchen, NJ 08840
119	13.02	Maggie May Enterprises LLC Box 1431593 Stow Falls, SD 57186
119	19.2	Judviga Bukowski 70 Highland Avenue Metuchen, NJ 08840
119	28.1	Thomas V. & Nancy Fitzpatrick 76 Highland Avenue Metuchen, NJ 08840
119	28.2	Lorraine Anisovitz & B.R. Goldhammer 43 Oak Avenue Metuchen, NJ 08840
119	37	Ronald & Christine Becker 43 Oak Avenue Metuchen, NJ 08840
119	39	Kyle P. Pedersen & Sam Anderson 88 Highland Avenue Metuchen, NJ 08840
119	41	John Scalfidi & Susan Wymant 96 Highland Avenue Metuchen, NJ 08840
119	43	Romero & Donna Tin 104 Highland Avenue Metuchen, NJ 08840
119	45	Adrian Miller 31 Washington Place Metuchen, NJ 08840
119	90	David Vaisberg & M. Palmer-Sherman Metuchen, NJ 08840

SHEET INDEX	
SHEET #	DWG. # TITLE
SHEET 1	CV-1 COVER SHEET
SHEET 2	EC-1 EXISTING CONDITIONS PLAN
SHEET 3	SD-1 SUBDIVISION PLAN
SHEET 4	GU-1 GRADING & UTILITY PLAN
SHEET 5	LI-1 LIGHTING PLAN
SHEET 6	LA-1 LANDSCAPE PLAN
SHEET 7	TRP-1 TREE REMOVAL PLAN
SHEET 8	SE-1 SOIL EROSION & SEDIMENT CONTROL PLAN
SHEET 9	SED-1 SOIL EROSION & SEDIMENT CONTROL DETAILS (1)
SHEET 10	DE-1 CONSTRUCTION DETAILS (2)
SHEET 11	DE-2 CONSTRUCTION DETAILS (2)
SHEET 12	DE-3 CONSTRUCTION DETAILS (3)

- PK&G Co.  
80 Park Plaza, 708  
Metuchen, NJ 08840
- Elizabeth Gas Co.  
Elizabeth Plaza  
P.O. Box 3175  
Union, NJ 07083
- Calverton of Raritan Valley  
Cablevision, CN 6065  
P.O. Box 1000  
Arlington, NJ 08815  
Attn: Marguerite Penderville  
Construction Department
- Backeye Pipeline  
P.O. Box 309  
Emmaus, PA 18049
- Texas Eastern Transmission Corp.  
501 Coolidge Street  
South Plainfield, NJ 07080
- Middlesex Water Co.  
485 Route 1 So. Bldg. C, 4<sup>th</sup> Fl.  
Edin, NJ 08835
- New Jersey Bell Telephone Co.  
4300 Route 1  
Room 305  
Newark, NJ 07102
- Parking Authority  
Metuchen, NJ 08840
- Middlesex County Planning Board  
Middlesex County Administration Building  
John F. Kennedy Square  
75 Bayard Street, 3<sup>rd</sup> Floor  
New Brunswick, NJ 08901
- Freehold Soil Conservation District  
P.O. Box 6033  
Freehold, NJ 07728-6033
- Dept. of Transportation  
105 Parkway Avenue  
CN 613  
Trenton, NJ 08625



HORIZONTAL DATUM: NAD83/NAUT83  
GRAPHIC SCALE

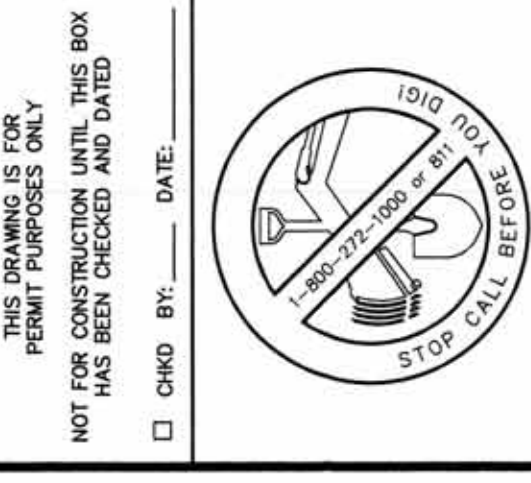
SCALE: 1"=20'  
0 10 20 30 40

REVISIONS

1	MANUAL REVISIONS	09/17/20
2	ACCESS PLANS	07/15/20
3	REDEVELOPMENT PLAN	12/21/20

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.

CHD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY requires that all plans submitted for review be prepared by a professional engineer, architect, landscape architect, or other professional as defined in the State Statutes.

**menlo engineering associates**

Civil Engineering Consultants  
Landscape Architects  
Professional Planners

261 Cleveland Avenue  
Highland Park, NJ 08904

menloeng.com | in | f

732-846-8585 | 732-846-9439

Certificate of Authorization: 24242781900

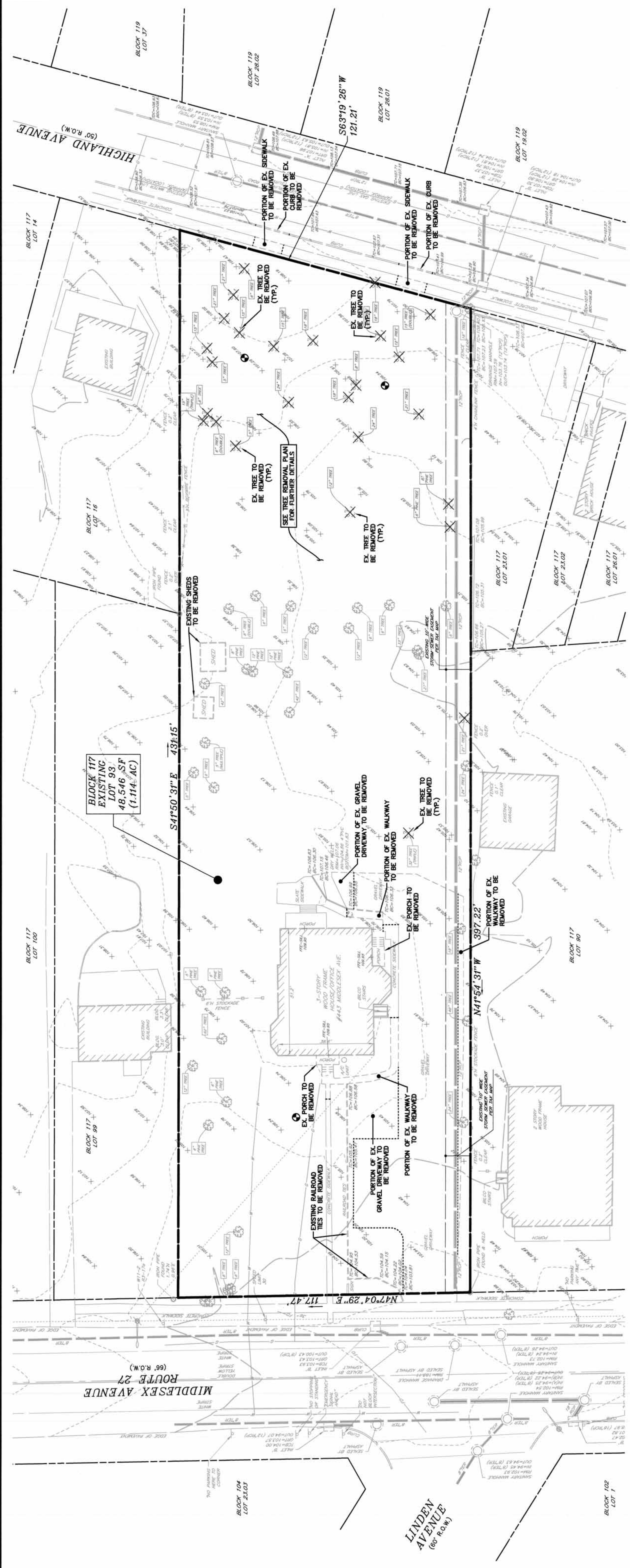
**HIGHLAND AVENUE SUBDIVISION**

BOROUGH OF METUCHEN  
MIDDLESEX COUNTY  
NEW JERSEY

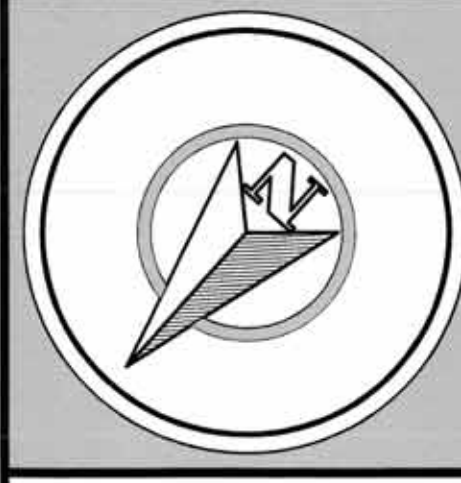
BLOCK 117, LOT 93  
TAX MAP SHEET #24  
1.114 ACRES

**EXISTING CONDITIONS PLAN**

PROJECT NUMBER	2019.042	EC-1
DATE OF ISSUE	JUNE 24, 2019	2
REVISED		DECEMBER 21, 2020



- REFERENCES**
1. PLAN ENTITLED "BOUNDARY AND TOPOGRAPHY SURVEY FOR ROSAMILLA PROPERTY MANAGEMENT, L.L.C." PREPARED BY LANDMARK SURVEYS; PROJECT NUMBER 19041; DATED APRIL 4, 2019.
  2. PLAN ENTITLED "LANDSCAPE ARCHITECTURE FOR ROSAMILLA AVENUE HOUSE #1" PREPARED BY MARQUELLE ARCHITECTURE; PROJECT NUMBER 19-071; HOUSE #1 VARIANCE; DATED APRIL 18, 2019.
  3. PLAN ENTITLED "ROSAMILLA PROPERTY MANAGEMENT, L.L.C. HIGHLAND AVENUE HOUSE #2" PREPARED BY MARQUELLE ARCHITECTURE; PROJECT NUMBER 19-071; HOUSE #2 VARIANCE; DATED APRIL 18, 2019.
  4. BOROUGH OF METUCHEN ZONING MAP; ADOPTED OCTOBER 17, 1988; AND REVISED THROUGH NOVEMBER 25, 2003.
  5. BOROUGH OF METUCHEN TAX MAP SHEETS 34 (SITE), AND 28, 29 & 30 (SURROUNDING PARCELS).



HORIZONTAL DATUM: NAD83  
 GRAPHIC SCALE  
 SCALE: 1"=20'

REVISIONS

1) MUNICIPAL COMMENTS	05/27/20
2) MUNICIPAL REVISIONS	07/17/20
3) ACCESS PLANS	07/17/20
4) ACCESS PLANS	07/17/20
5) REDEVELOPMENT PLAN	12/21/20

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THE BOX HAS BEEN CHECKED AND DATED.

CHKD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY REQUIRES ALL ENGINEERS, ARCHITECTS, LANDSCAPE ARCHITECTS, PROFESSIONAL PLANNERS, DESIGNERS, OR ANY PERSON PREPARING TO DISBURSE THE EARTH'S SURFACE, AND/OR IN THE STATE.

**menlo engineering associates**  
 Civil Engineering Consultants  
 Landscape Architects  
 Professional Planners

261 Cleveland Avenue  
 Highland Park, NJ 07904

menloeng.com | m | f | t  
 732-846-8585 | 732-846-9439  
 Certificate of Authorization: 2462791000

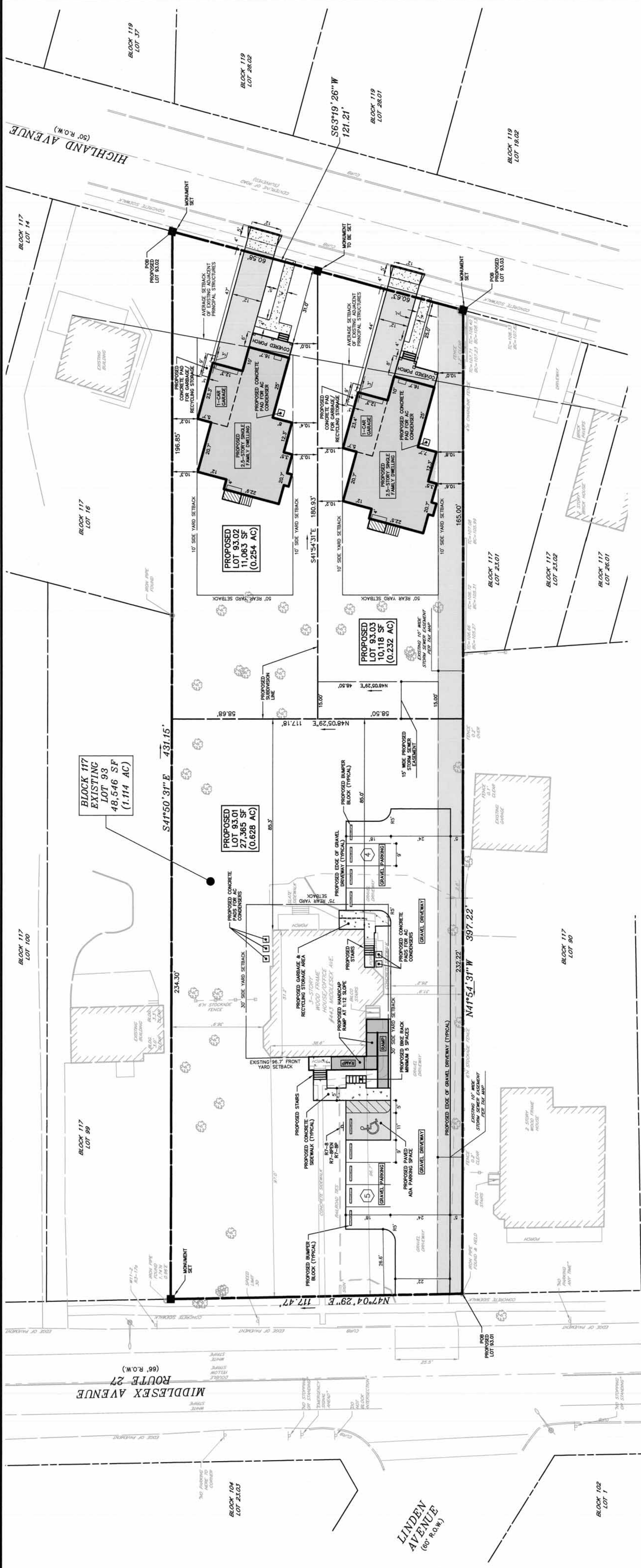
**HIGHLAND AVENUE SUBDIVISION**

BOROUGH OF METUCHEN  
 MIDDLESEX COUNTY  
 NEW JERSEY

BLOCK 117, LOT 93  
 TAX MAP SHEET #34  
 1.114 ACRES

**SUBDIVISION PLAN**

PROJECT NUMBER	2019-042	SD-1
DATE OF ISSUE	JUNE 24, 2019	3
REVISION	DECEMBER 21, 2020	



**443 MIDDLESEX AVENUE REDEVELOPMENT PLAN ZONE DATA**

ITEM	SECTION	SUB-AREA 1 MIDDLESEX AVENUE PARCEL PROPOSED LOT 93.01	SUB-AREA 2 HIGHLAND AVENUE PARCEL PROPOSED LOT 93.02	PROPOSED LOT 93.03
<b>PERMITTED USES</b>				
PERMITTED PRINCIPAL USE	5.1.1.	EXISTING MULTI-FAMILY UP TO 5 APARTMENTS	5.2.1.	SINGLE FAMILY DETACHED DWELLING
PERMITTED ACCESSORY USE	5.1.2.A.	DRIVEWAY & PARKING	5.2.2.A.	DRIVEWAY & GARAGE
<b>LOT REQUIREMENTS</b>				
MINIMUM LOT AREA (SF)	5.1.3.A.	20,000 SF	5.2.3.A.	10,000 SF
MINIMUM LOT WIDTH (FT)	5.1.3.B.	100 FT	5.2.3.B.	45 FT
MINIMUM LOT DEPTH (FT)	5.1.3.C.	200 FT	5.2.3.C.	150 FT
<b>SETBACK REQUIREMENTS</b>				
MINIMUM FRONT YARD (FT)	5.1.3.D.	MAINTAIN SETBACK OF EXISTING BUILDING	5.2.3.D.	AVERAGE OF ADJACENT PRINCIPAL STRUCTURES
MINIMUM SIDE YARD (EACH) (FT)	5.1.3.E.	30 FT	5.2.3.E.	10 FT
MINIMUM SIDE YARD (R0TH) (FT)	5.1.3.F.	60 FT	5.2.3.F.	20 FT
MINIMUM REAR YARD (FT)	5.1.3.G.	75 FT	5.2.3.G.	50 FT
<b>COVERAGE REQUIREMENTS</b>				
MAXIMUM BUILDING COVERAGE (% OF LOT)	5.1.3.H.1.	10 %	5.2.3.H.1.	20 %
MAXIMUM IMPERVIOUS COVERAGE (% OF LOT)	5.1.3.H.2.	40 %	5.2.3.H.2.	40 %
<b>BUILDING REQUIREMENTS</b>				
MAXIMUM BUILDING HEIGHT (STORIES)	5.1.3.I.1.	3 STORIES	5.2.3.I.1.	2.5 STORIES
MAXIMUM BUILDING HEIGHT (FEET)	5.1.3.I.2.	40 FT	5.2.3.I.2.	35 FT
MINIMUM GARAGE SETBACK FROM FRONT FACADE	5.1.3.I.3.	< 40 FT	5.2.3.I.3.	18 FT
MAXIMUM FRONT FACADE GARAGE WITH MINIMUM MIDDLESEX AVENUE BUFFER	5.1.5.B.	25 FT	5.2.3.I.3.	30.4 %
MINIMUM DRIVEWAY SETBACK FROM SIDE LOT LINE (FT)	5.1.5.C.	5 FT	5.2.3.I.3.	30.4 %
MINIMUM NUMBER OF PARKING SPACES (1-BEDROOM APARTMENT) - 1.8 SPACES/APARTMENT = 9 SPACES (NOTE 2)	(R.S.I.S.)	9 SPACES	5.2.3.I.3.	30.4 %
MINIMUM NUMBER OF PARKING SPACES PER RESIDENTIAL UNIT - 1.8 SPACES/APARTMENT = 8 SPACES (NOTE 3)	5.1.4.A.	9 SPACES	(R.S.I.S.)	3 SPACES (NOTE 3 & 4)
MINIMUM NUMBER OF PARKING SPACES (4-BEDROOM SINGLE-FAMILY) - 3 SPACES/UNIT = 3 SPACES (NOTE 3 & 4)				

NOTE 1: SEE GRADING AND UTILITY PLAN FOR BUILDING HEIGHT CALCULATIONS.  
 NOTE 2: RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.) TABLE 4.4  
 NOTE 3: RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.) SECTION 5.21-4.14(6)(2): 1 GARAGE SPACE  
 NOTE 4: BOROUGH OF METUCHEN LAND DEVELOPMENT ORDINANCE: 2 DRIVEWAY SPACES

**REFERENCES**

- PLAN ENTITLED "BOUNDARY AND PROBABLY SURVEY FOR ROSAMILLA PROPERTY MANAGEMENT, L.L.C." PREPARED BY LANDMARK SURVEYS, PROJECT NUMBER 19041, DATED APRIL 4, 2019.
- PLAN ENTITLED "ROSAMILLA PROPERTY MANAGEMENT, L.L.C. HIGHLAND AVENUE HOUSE 1" PREPARED BY MARCOLLE ARCHITECTURE, PROJECT NUMBER 19-071 HOUSE 1, VARIANCE, DATED APRIL 18, 2019.
- ARCHITECTURE: PROJECT NUMBER 19-071 HOUSE 1, VARIANCE, DATED APRIL 18, 2019.
- ARCHITECTURE: PROJECT NUMBER 19-071 HOUSE 2, VARIANCE, DATED APRIL 18, 2019.
- BOROUGH OF METUCHEN ZONING MAP, ADOPTED OCTOBER 17, 1988; AND REVISED THROUGH NOVEMBER 25, 2003.

**CERTIFICATIONS.**

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE SURVEY OF THE ORIGINAL TRACT OF LAND KNOWN AS BLOCK 117 LOT 93 ENTITLED "BOUNDARY AND PROBABLY SURVEY FOR ROSAMILLA PROPERTY MANAGEMENT, L.L.C." AND THE SURVEY OF THE ORIGINAL TRACT OF LAND KNOWN AS BLOCK 117 LOT 93 ENTITLED "HIGHLAND AVENUE HOUSE 1" WERE MADE UNDER MY SUPERVISION AND BELIEF AND THAT THE MINIMUM SURVEY DETAIL REQUIREMENTS AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND ON SITE.

OTTO CRANS ROSSMEIER  
 PROFESSIONAL LAND SURVEYOR  
 N.P.L.S.# 43214

I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLES WITH THE PROVISIONS OF THE "MAP FILING LAW", (N.J.S.A. 46:23-9.8 et seq.)

DATE: \_\_\_\_\_

GREGG A. GAFFNEY  
 NEW JERSEY PROFESSIONAL LAND SURVEYOR  
 N.P.L.S.# 43304

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: \_\_\_\_\_

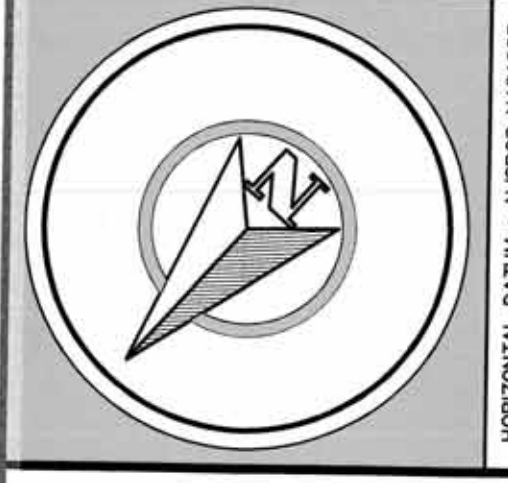
MUNICIPAL ENGINEER

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED FOR FILING IN THE OFFICE OF THE CLERK OF MIDDLESEX COUNTY BY THE PLANNING BOARD OF THE BOROUGH OF METUCHEN.

DATE: \_\_\_\_\_

SECRETARY OF THE PLANNING BOARD

COMPLIES WITH "THE RECORDATION ACT" TITLE 46 POLICY PROPERTY N.J.S.A. 46:26A-1 THROUGH 46:26C-3



HORIZONTAL DATUM: NAD83  
**GRAPHIC SCALE**  
 0 10 20 30 40  
 SCALE: 1"=20'

REVISIONS	DATE	DESCRIPTION
1) MUNICIPAL COMMENTS	11/29/19	
2) MUNICIPAL REVISIONS	05/27/20	
3) ACCESS PLANS	07/13/20	
4) REDEVELOPMENT PLAN	12/21/20	

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNLESS THIS BOX HAS BEEN CHECKED AND DATED.  
 OK'D BY: DATE:



THE STATE OF NEW JERSEY REQUIRES INSURANCE TO BE MAINTAINED BY CONTRACTORS AND DESIGNERS OF RECORD THROUGHOUT THE CONSTRUCTION OF ANY PROJECTS. PREPARING TO DISLURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

**menlo engineering associates**  
 Civil Engineering Consultants  
 Landscape Architects  
 Professional Planners  
 261 Cleveland Avenue  
 Highland Park, NJ 08904  
 menloeng.com  
 732-646-8565 732-646-9439  
 Certificate of Authorization: 26A279281900

**HIGHLAND AVENUE SUBDIVISION**

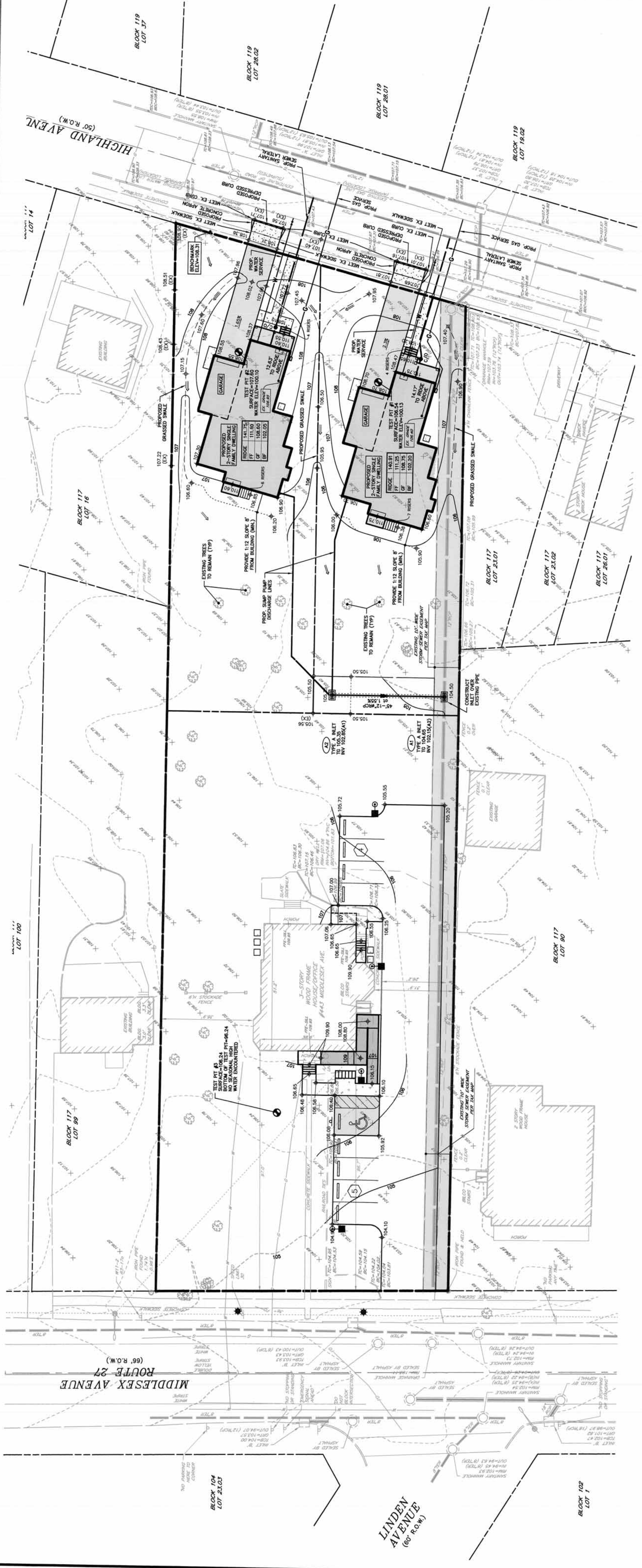
BOROUGH OF METUCHEN MIDDLESEX COUNTY NEW JERSEY

BLOCK 117, LOT 93 TAX MAP SHEET #84 1.114 ACRES

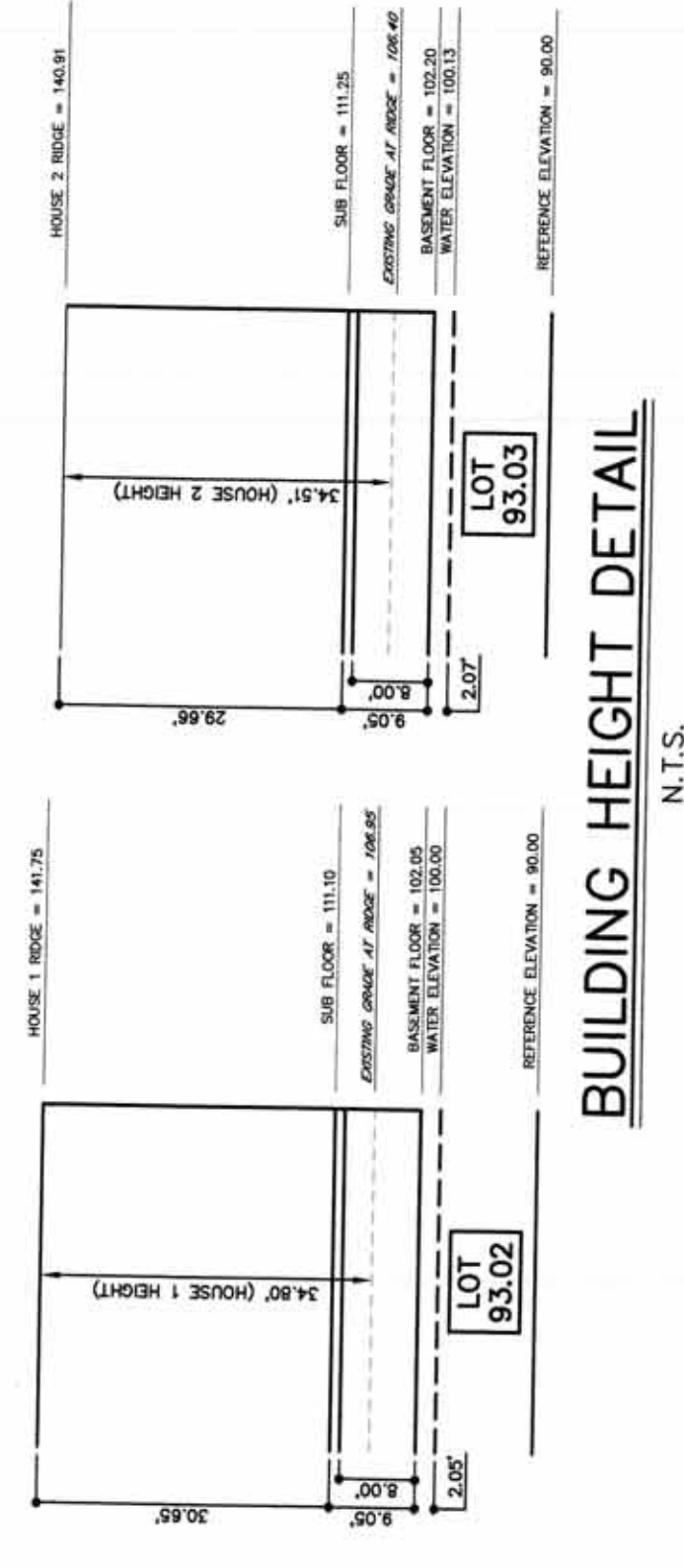
**GRADING & UTILITY PLAN**

DRAWN BY: [Signature]  
 DESIGNED BY: [Signature]  
 APPROVED BY: [Signature]  
 THE WORK PREPARED UNDER MY FIDELITY SUPERVISION:

PROJECT NUMBER	2019.042	DATE	JUNE 24, 2019
REVISION		DATE	DECEMBER 21, 2020
PROJECT NUMBER	2019.042	DATE	JUNE 24, 2019
REVISION		DATE	DECEMBER 21, 2020

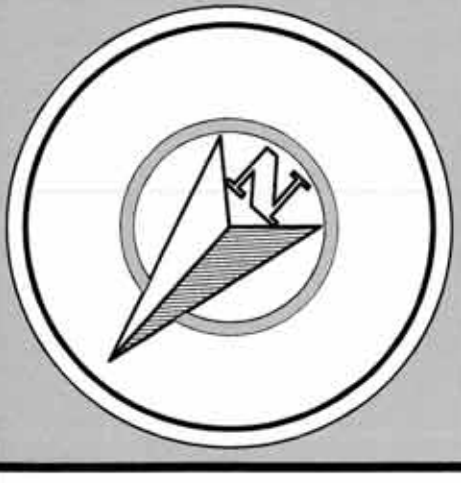


**NOTE:** BUILDING HEIGHT CALCULATIONS REFERENCE THE FOLLOWING SECTION OF THE LAND DEVELOPMENT ORDINANCE OF THE BOROUGH OF METUCHEN: 10-A. DETERMINATIONS  
 HEIGHT OF STRUCTURE: THE MAXIMUM VERTICAL DISTANCE THROUGHOUT A STRUCTURE MEASURED BETWEEN THE ORIGINAL GROUND ELEVATION AND THE HIGHEST ELEVATION OF ANY PART OF THE STRUCTURE DIRECTLY ABOVE.



- GENERAL NOTES**
1. NAD83 DATUM TO BE VERIFIED BY PROFESSIONAL SURVEYOR.
  2. ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND/OR ANY OTHER GOVERNING BODIES STANDARDS.
  3. THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY. THE CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER ARE TO BE DONE IN ACCORDANCE WITH THE COMPANY'S STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION SHALL BE CLEARLY MARKED WITH FLAGGING. ALL EXISTING UTILITIES SHALL BE SUPPORTED WITH A SADDLE (CONCRETE OR SAND AS NOTED), RESPECTIVE UTILITY COMPANIES.
  4. DESIGN AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE TV TO BE PROVIDED BY RESPECTIVE UTILITY COMPANIES.
  5. ALL DRAINAGE IS TO BE REINFORCED CONCRETE PIPE CLASS II - WALL B UNLESS OTHERWISE NOTED. ALL OTHERS TO BE CLASS 50 CEMENT-LINED DUCTILE IRON PIPE UNLESS OTHERWISE NOTED. ALL WATERLINES TO BE CLASS 50 CEMENT-LINED DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
  6. WATERLINE AND SANITARY SEWER TO BE A MINIMUM OF TEN (10) FEET APART HORIZONTALLY AND EIGHTEN (18) INCHES VERTICALLY UNLESS OTHERWISE NOTED.
  7. WATERLINES TO HAVE A MINIMUM OF FOUR (4) FEET COVER.
  8. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (THE LATEST EDITION AND AMENDMENTS).
  9. FOR SPECIFIC BUILDING DETAILS SEE ARCHITECTURAL DRAWINGS.
  10. SITE GRADING AND UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND SOILS. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.
  11. ALL EXISTING OR PROJECT-GENERATED DEBRIS IS TO BE REMOVED AND PROPERLY DISPOSED ACCORDING TO ALL APPLICABLE REGULATIONS.

**BUILDING HEIGHT DETAIL**  
 N.T.S.



HORIZONTAL DATUM: NAD83/MSAD1983  
**GRAPHIC SCALE**  
 SCALE: 1"=20'  
 0 10 20 30 40

REVISIONS

NO.	DATE	DESCRIPTION

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.  
 CHD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, CONTRACTORS, OR OTHER PERSONS PREPARING TO DISURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

**menlo engineering associates**  
 Civil Engineering Consultants  
 Landscape Architects  
 Professional Planners  
 261 Cleveland Avenue  
 Highland Park, NJ 08904  
 menloeng.com | in | f | t  
 732-846-8585 | 732-846-9439  
 Certificate of Authorization: 246A2791900

**HIGHLAND AVENUE SUBDIVISION**

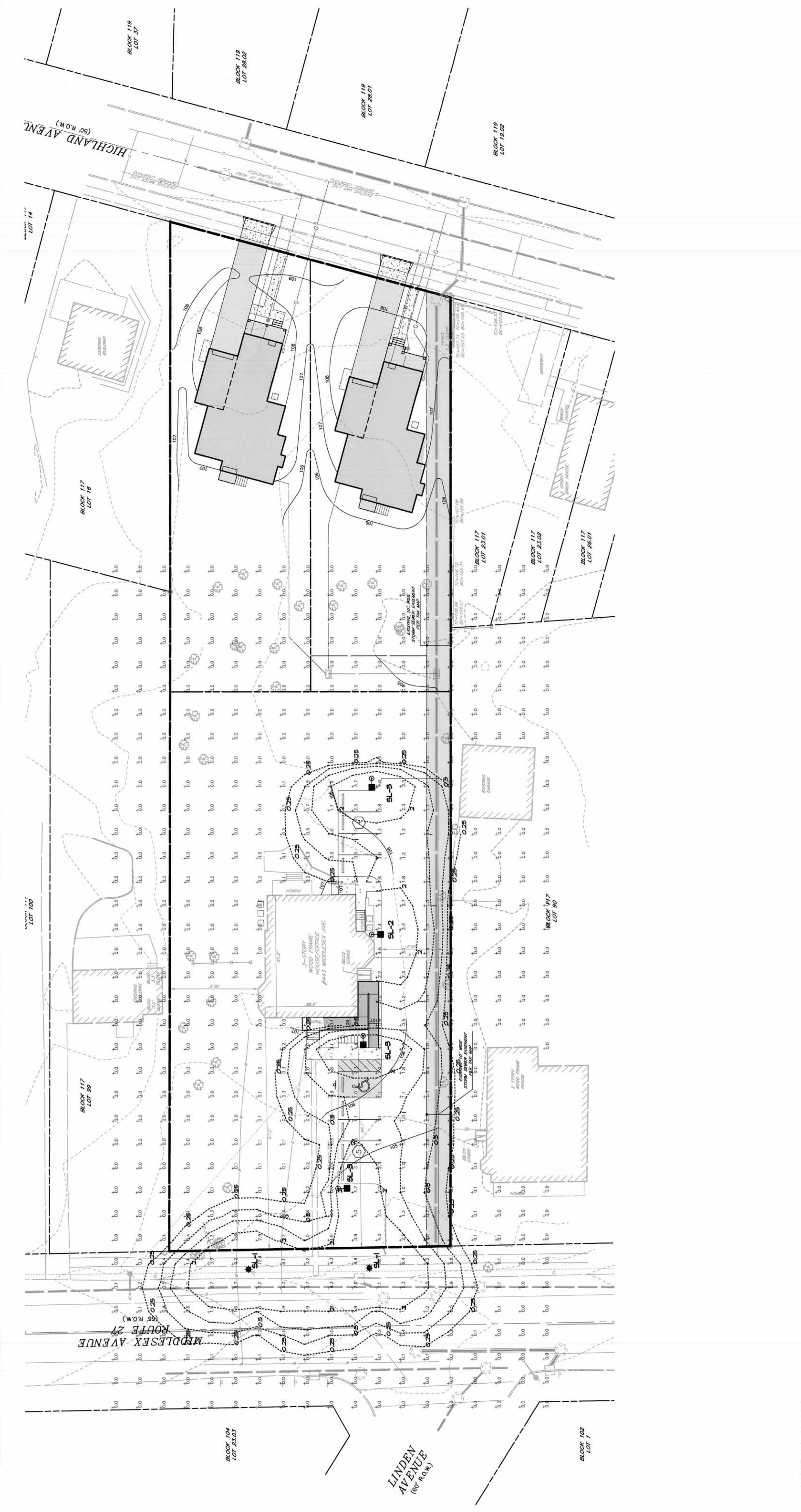
BOROUGH OF METUCHEN  
 MIDDLESEX COUNTY  
 NEW JERSEY

BLOCK 117, LOT 93  
 TAX MAP SHEET #34  
 1.114 ACRES

**LIGHTING PLAN**

PROJECT NUMBER	DATE	REVISION
2018.042	DECEMBER 21, 2020	U-1
		5

DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]  
**KENNETH R. GRISE WOOD**  
 LICENSE #A5000071



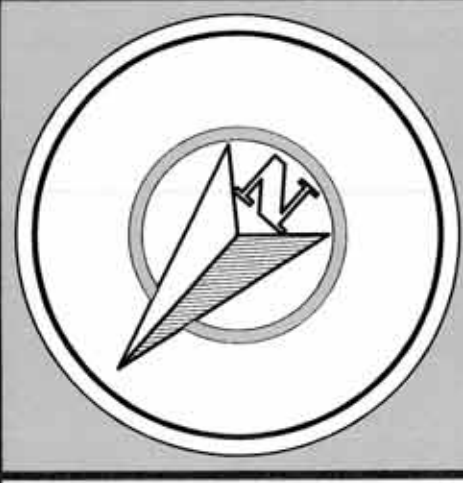
**LIGHTING NOTES**

1. A CONCRETE FOOTING BELOW FINISHED GRADE SHALL BE INSTALLED FOR EACH FIXTURE SIZE AND DEPTH TO BE DESIGNED BY STRUCTURAL ENGINEER.
2. A MINIMUM OF (05) FOOTCANDLES WITH AN AVERAGE OF (15) FOOTCANDLES AND AN AVERAGE TO MINIMUM UNIFORMITY RATIO OF 9:0.1 ARE PROVIDED WITHIN PARKING AREAS AND DRIVEWAYS.
3. PARKING AREA POLES TO BE ALUMINUM, NON-TAPERED, SQUARE TO MATCH FIXTURE.
4. LIGHT FIXTURES AND POLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
5. PARKING AREA LIGHTING CONTROLS SHALL BE PHOTOCELL ACTIVATED/DEACTIVATED AND TIMER OPERATED DURING HOURS OF OPERATION.
6. LIGHT FIXTURES LOCATED IN PLANTING AREAS AND TREE AREAS SHALL BE A MINIMUM OF 8'0" OFF PAVEMENT CURB PLACE FOOTINGS WITHIN PARKING AREAS SHALL BE 6'0" ABOVE ADJACENT PAVEMENT GRADE. ALL FOUNDATIONS SHALL BE ADJUSTED FOR APPROPRIATE FOUNDATIONS USED WHILE MAINTAINING LUMINAIRE MOUNTING HEIGHT.
7. ALL CIRCUIT DIAGRAMS AND ELECTRICAL PLANS FOR EXTERIOR LIGHTING TO SERVICE PANEL SHALL BE DESIGNED BY INTERIOR LIGHTING CONTRACTOR/ENGINEER.
8. INSTALLATION OF ALL SITE LIGHTING ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, CODES, AND LAWS.
9. THIS PLAN WAS PRODUCED USING LIGHTING ANALYSIS A61 PROGRAM WITH THE APPROPRIATE PHOTO-METRIC FILES SUPPLIED BY EATON MCGRAW-HILL LIGHTING.
10. THE CONTRACTOR SHALL FIELD VERIFY EXISTING OVERHEAD WIRING FOR CLEARANCE REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/ENGINEER FOR ANY CONFLICTS PRIOR TO ORDERING LIGHTING EQUIPMENT.
11. THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
12. ANY LIGHT FIXTURE SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A POINT BY POINT CALCULATION VERIFYING THE SUBSTITUTED FIXTURES PERFORMANCE AND DEMONSTRATING THAT THE REVISED LIGHT LEVELS MATCH THE APPROVED PLANS. MENLO ENGINEERING WILL NOT PERFORM REVISED LIGHTING CALCULATIONS UNLESS AUTHORIZED BY THE OTHER. THE REVISED LIGHT LEVELS MUST BE RESUBMITTED TO THE MUNICIPAL REVIEWING ENGINEER FOR APPROVAL.
13. BUILDING MEP OR ELECTRICAL CONTRACTOR TO DETERMINE REQUIRED VOLTAGES FOR ALL SITE LIGHTING.

**LIGHTING SCHEDULE**

LABEL	QUANTITY	TYPE OF MOUNT	MATTAGE	COLOR / DRIVER	MOUNTING HEIGHT*	POLE HEIGHT	DISTRIBUTION	CATALOG NUMBER	POLE CATALOG NUMBER
SL-1	2	POST TOP DECORATIVE POLE	80 WATT LED	NA	12.25'	10.0'	TYPE III	SPRINGS CITY QUALITY HILL LED-ALUMI-T-LED-80W/120V-27-CRS-PBR0-CMP-FBR-BLK-M PHOTOCELL	SPRINGS CITY BOROUGH W/ LADDER REST #FSBRH-14-10-00-TL28A/3-00-LR-9FM-CB
SL-2	1	SINGLE SQUARE POLE	44 WATT LED	9,000 K / 800MA	12.0'	11.5'	TYPE SL3 W/ H55	COOPER LIGHTING SOLUTIONS MCGRAW-HILL GALLON-SLEON-SAN-B-150--SL3--BK-H55 (OR APPROVED EQUAL)	EATON ALUMINUM POLES SSA-4-T-12-M-T--1 (OR APPROVED EQUAL)
SL-3	9	SINGLE SQUARE POLE	44 WATT LED	9,000 K / 800MA	12.0'	11.5'	TYPE SL4 W/ H55	COOPER LIGHTING SOLUTIONS MCGRAW-HILL GALLON-SLEON-SAN-B-150--SL4 (OR APPROVED EQUAL)	EATON ALUMINUM POLES SSA-4-T-12-M-T--1 (OR APPROVED EQUAL)

\* ABOVE PAVEMENT  
 (CONTACT MANUFACTURER FOR EXACT LIGHT FIXTURE AND POLE SPECIFICATIONS)

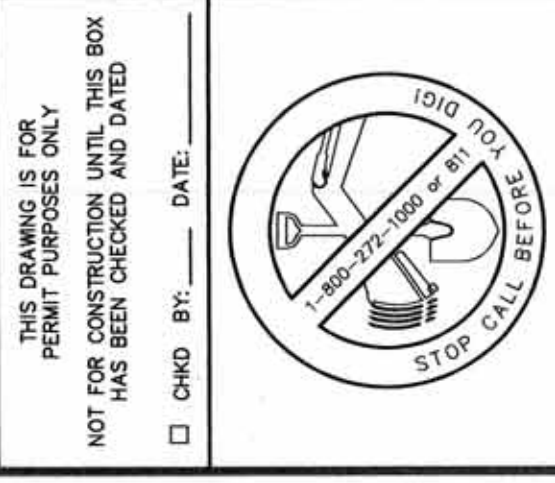


HORIZONTAL DATUM: NAD83 (11/18/93)  
GRAPHIC SCALE

REVISIONS	DATE	DESCRIPTION
1	11/18/19	ISSUED FOR PERMIT
2	08/27/20	REVISIONS
3	07/08/20	NOTES
4	07/17/20	ACCESS PLANS
5	12/21/20	REDEVELOPMENT PLAN

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.

CHKD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, CONTRACTORS, OR OTHER PERSONS PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

**menlo engineering associates**  
Civil Engineering Consultants  
Landscape Architects  
Professional Planners

261 Cleveland Avenue  
Highland Park, NJ 08904

menloeng.com | 732-846-8885 | 732-846-9439  
Certificate of Authorization: 24042019100

**HIGHLAND AVENUE SUBDIVISION**

BOROUGH OF METUCHEN  
MIDDLESEX COUNTY  
NEW JERSEY

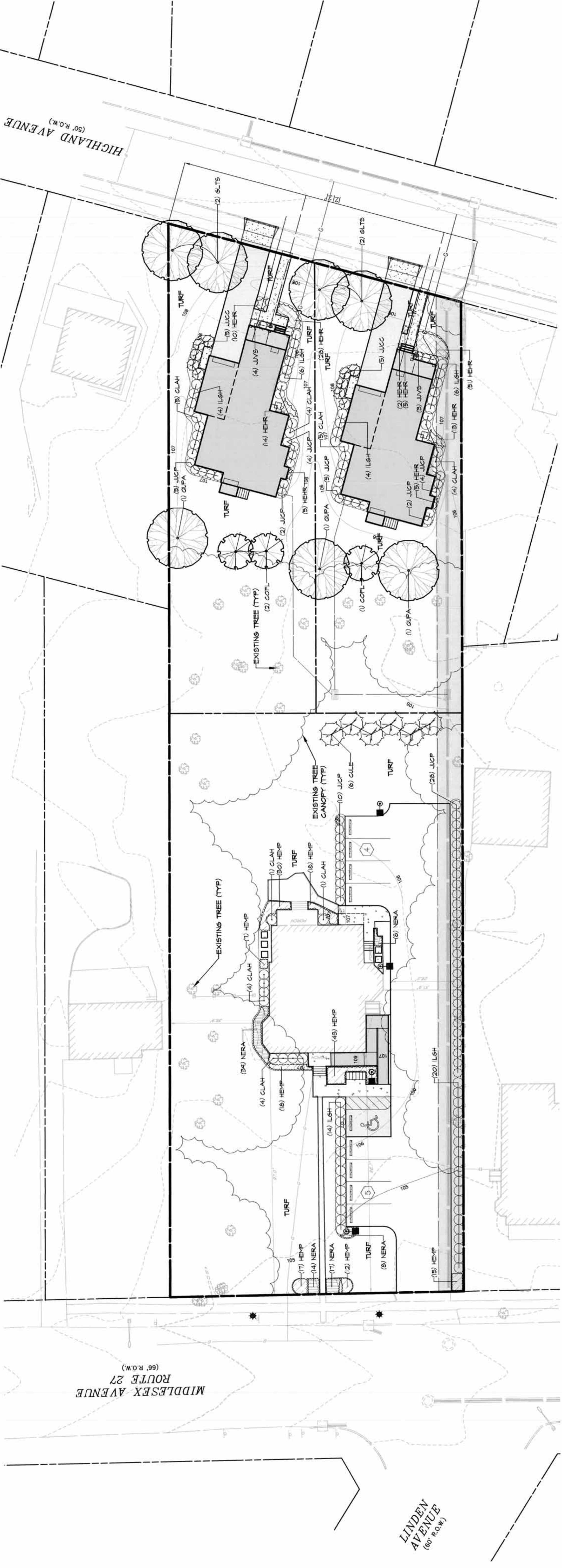
BLOCK 117, LOT 93  
TAX MAP SHEET #54  
1.114 ACRES

**LANDSCAPE PLAN**

DESIGNED BY: KENNETH R. GRISEWOOD  
APPROVED BY: [Signature]

PROJECT: 2019.042  
DATE OF ISSUE: JUNE 24, 2019  
REVISION: 5  
REVISION DATE: DECEMBER 21, 2020

LA-1  
6

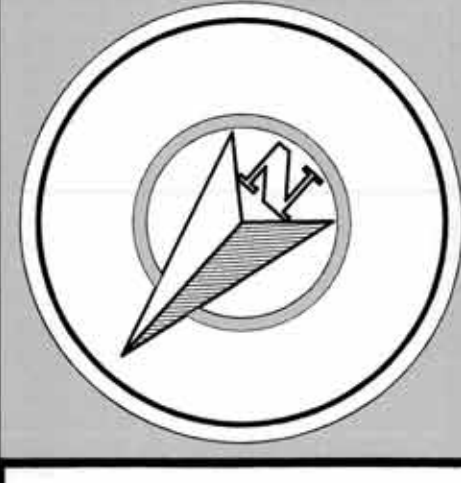


### PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	MATURE SPREAD	MATURE HT.	CALIPERS	PLANTING HT.	TYPE	REMARKS
4	QUERCUS PRINCEPS	SHADY OAK	40'	19'	2.5"-3" CAL	12'-14'	B&B	STRAIGHT, SYMMETRICAL, FULL CROWN, HEAD TO T
9	QUERCUS PRINCEPS	SHADY OAK	40'	19'	3.5"-4" CAL	12'-14'	B&B	STRAIGHT, SYMMETRICAL, FULL CROWN, HEAD TO T
6	QUERCUS PRINCEPS	SHADY OAK	10'	60"	CALIPERS	12'-9"	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
10	QUERCUS PRINCEPS	SHADY OAK	6'	15'	CALIPERS	7'-8"	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
5	QUERCUS PRINCEPS	SHADY OAK	20'	23'	CALIPERS	14'-16"	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
28	QUERCUS PRINCEPS	SHADY OAK	5'	9'	CALIPERS	2.5'-3'	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
94	QUERCUS PRINCEPS	SHADY OAK	4'	4'	CALIPERS	2.5'-3'	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
60	QUERCUS PRINCEPS	SHADY OAK	6'	4'	CALIPERS	2.5'-3'	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
1	QUERCUS PRINCEPS	SHADY OAK	4'	2'	18"-24"	18' o.c.	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
193	QUERCUS PRINCEPS	SHADY OAK	12' CAN	15'	15'	18' o.c.	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
160	QUERCUS PRINCEPS	SHADY OAK	12' CAN	15'	15'	18' o.c.	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED
86	QUERCUS PRINCEPS	SHADY OAK	12' CAN	15'	15'	18' o.c.	B&B	STRAIGHT, SYMMETRICAL, DENSE, LOW BRANCHED

### GENERAL LANDSCAPE NOTES:

- NO SUBSTITUTIONS IN THE PLANT LIST IS TO BE MADE UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER AND THE TOWNSHIP.
- ALL DISTURBED AND PERMANENT TURF AREAS SHALL BE SEEDED WITH A GENERAL PURPOSE MIXTURE SIMILAR TO THE FOLLOWING: 50% SEED MIX #14 (TALL TURF FESCUE, KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS) OR APPROVED EQUAL. SEE SCS DETAIL SHEETS FOR SEEDING SPECIFICATIONS.
- ALL PLANTING BEDS TO BE MULCHED WITH (3) INCH MINIMUM MULCH (SEE PLANTING NOTE #20). MULCH VOLCANOES (MOUNDS) AROUND TREES ARE PROHIBITED.
- TOPSOIL PROTECTION: NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPILL. ALL TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AN EVEN COVER AND SHALL BE STABILIZED BY SEEDING OR PLANTINGS. ALL REGRADED TURF AREAS SHALL BE COVERED BY A SIX (6) INCH MINIMUM THICKNESS OF TOPSOIL. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE, TOPSOIL MEETING THESE SPECIFICATIONS SHALL BE ORDERED AND DELIVERED TO THE SITE. TOPSOIL SHALL BE TESTED FOR ANY TOXINS OR HARSH CHEMICALS. ANY IMPORTED TOPSOIL OR SUBSOIL SHALL BE UNDER CERTIFIED FREE OF ANY TOXINS OR HARSH CHEMICALS.
- LAWN AREAS SHALL MAINTAIN A MINIMUM SLOPE OF 2% AND A MAXIMUM OF (3) FEET HORIZONTAL TO (1) FOOT VERTICAL AND COMPACTED AREAS SHALL BE TILLED TO A DEPTH OF EIGHTEEN (18) INCHES.
- UNACCEPTABLE ELIMAT MATERIALS, MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SANSCALDS, AND/OR DISFIGURING KNOTS, OR FRESH CUTS OF LIMBS OVER 9/4 IN. WHICH HAVE NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED.
- ALL PLANT MATERIALS LOCATED WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED NOT TO EXCEED A MAXIMUM OF (86) INCHES ABOVE PAVEMENT AND TREES SHALL BE LIMBED TO MAINTAIN A MINIMUM CLEARANCE OF (7) FEET ABOVE THE TOP OF CURB OR SIDEWALK FOR SIGHT VISIBILITY.
- THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. (1-800-272-0000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION SHALL BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
- SEE DETAIL SHEETS FOR ADDITIONAL PLANTING NOTES AND DETAILS.
- ALL SHADE TREES, EVERGREENS, AND FLOWERING TREES SHALL BE PROVIDED WITH 'SATOR BAGS' 1m OR EQUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO ALL PLANTINGS AND LAWN AREAS UNTIL FINAL ACCEPTANCE.
- PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, SEEDING OR SODDING OF LAWN AREAS, THE CONTRACTOR SHALL OBTAIN PHYSICAL, CHEMICAL AND SOIL FERTILITY TESTING AT AN APPROVED LAB TO DETERMINE SOIL COMPOSITION AND SUITABILITY. THE TESTING SHALL BE A RATE OF EITHER ONE TEST PER 500 CUBIC YARDS OF PLANTING MIX OR ONE TEST PER 15000 SF OF LANDSCAPE SURFACE AREA. THE SOILS SHALL BE ANALYZED IN ACCORDANCE WITH THE TEST RESULTS FOR OPTIMAL PLANT AND LAWN GROWTH. THE RESULTS OF ALL TESTING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW.
- METUCHEN LAND USE ORDINANCE REQUIRES THE FOLLOWING PLANTINGS:  
-SECTION 10-102 (F) REQUIRES FOUNDATION PLANTINGS: EVERGREEN AND DECIDUOUS, AROUND ALL SIDES OF BUILDINGS.  
-SECTION 10-102 (G) REQUIRES (1) SHADE TREE AND (2) FLOWERING TREE PER EVERY 50 LF OF LOT FRONTAGE. 122 LF OF FRONTAGE / 50 = 2.44 SHADE TREES AND 4.88 FLOWERING TREES REQUIRED  
-SECTION 10-102 (H) REQUIRES (1) STREET TREE PER 50-99 LF OF LOT FRONTAGE. 122 LF OF FRONTAGE / 50 = 2.44 STREET TREES REQUIRED  
-SECTION 10-102 (I) REQUIRES TREE REPLACEMENT FOR ANY TREE REMOVED FROM A SITE. REFER TO TREE REMOVAL PLAN FOR EXISTING TREES TO REMAIN AND TO BE REMOVED.  
TOTAL REPLACEMENT TREES = TO BE REPLACEMENT TREES REQUIRED (SEE TREE REMOVAL PLAN FOR CALCULATION)  
-SECTION 10-102 (J) DUE TO THE HIGH AMOUNT OF TREE REPLACEMENT, THE APPLICANT SHALL MAKE A CONTRIBUTION TO BE DETERMINED.



HORIZONTAL DATUM : NAD83 NAVD83  
**GRAPHIC SCALE**  
 0 10 20 30  
 SCALE: 1"=20'

REVISIONS

1) MUNICIPAL COMMENTS	11/26/19
2) MUNICIPAL REVISIONS	02/27/20
3) REDEVELOPMENT PLAN	12/27/20

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.

CHKD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXAMINATION DESIGNERS OR ANY PERSON PERFORMING ANY WORK ON THE SURFACE ANYWHERE IN THE STATE.

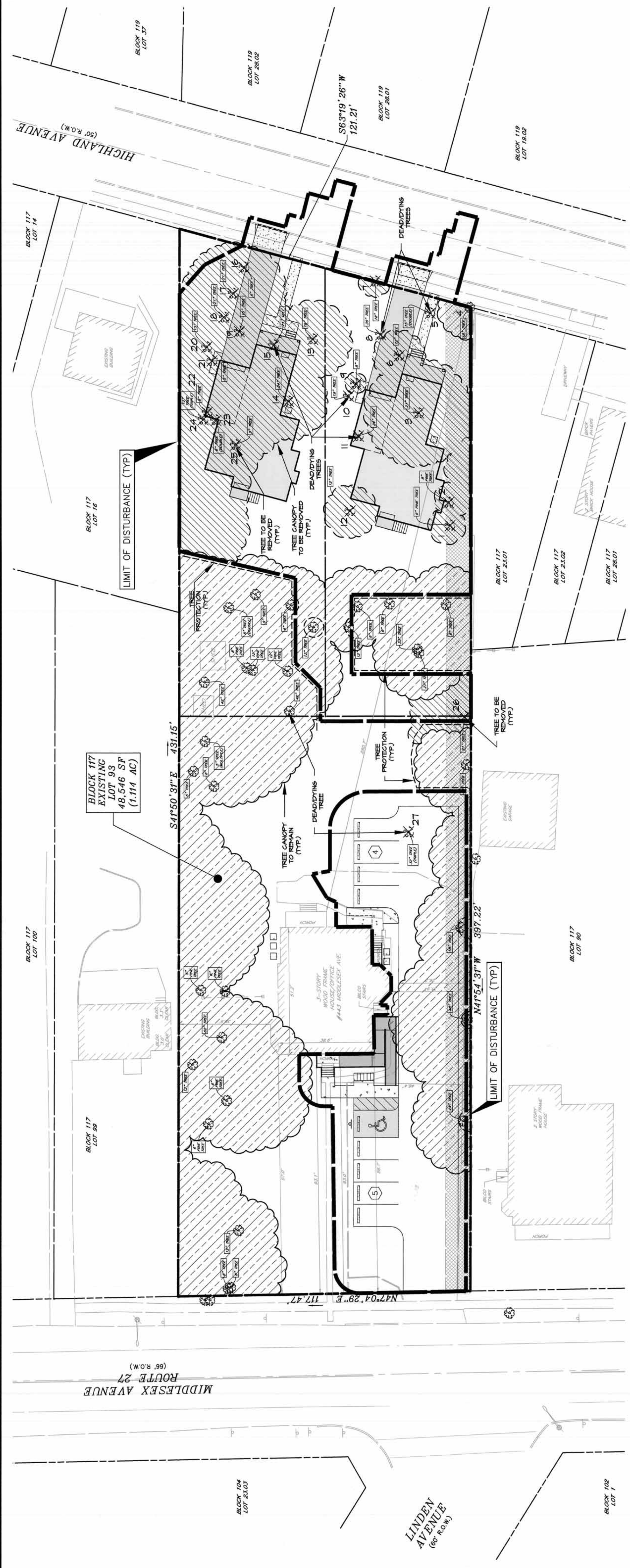
**menlo engineering associates**  
 Civil Engineering Consultants  
 Landscape Architects  
 Professional Planners  
 951 Cleveland Avenue  
 Highland Park, NJ 08904  
 menloeng.com | in | f | t  
 732-846-8685 | 732-846-8439  
 Certificate of Authorization: 2402795000

**HIGHLAND AVENUE SUBDIVISION**  
 BOROUGH OF METUCHEN MIDDLESEX COUNTY NEW JERSEY

BLOCK 117, LOT 93  
 TAX MAP SHEET #24  
 1.114 ACRES

**TREE REMOVAL PLAN**

DRAWN BY: JT  
 DESIGNED BY: JT  
 CHECKED BY: JT  
 DATE OF ISSUE: JUNE 24, 2019  
 PROJECT NUMBER: 2019.042 TRP-1  
 DATE OF REVISION: DECEMBER 21, 2020  
 REVISION NUMBER: 7



**KEY:**

- Tree canopy to remain (diagonal hatching)
- Tree canopy to be removed (cross-hatching)
- Tree to be removed (XX)

-TOTAL TREE CANOPY ON SITE = 27,604 SF  
 -TREE CANOPY TO BE REMOVED = 9,718 SF = 35.2 %  
 -TREE CANOPY TO REMAIN = 19,886 SF = 71.8 %  
 SECTION 10-180(B)(2)(b) - NO MORE THAN 60% OF EXISTING TREE CANOPY WITHIN PROPERTY BOUNDARIES SHALL BE REMOVED - COMPLIES

**TREE REPLACEMENT:**  
 SECTION 10-180(B)(2)(c) - NO MORE THAN 10% OF EXISTING TREES WITH A CALIFER EQUAL TO OR GREATER THAN 10 INCHES WITHIN THE LIMIT OF DISTURBANCE AS DESIGNATED BY THE SHADE TREE COMMISSION OR PAY AN AMOUNT EQUAL TO THE REASONABLE COST OF PURCHASE AND PLANTING THE TREE TO THE BOROUGH.  
 TREES EQUAL TO OR GREATER THAN 10 INCHES WITHIN THE LIMIT OF DISTURBANCE = 19 TREES  
 TREES EQUAL TO OR GREATER THAN 10 INCHES BEING REMOVED = 12 TREES  
 10% OF 19 TREES EQUAL TO OR GREATER THAN 10 INCHES TO BE REMOVED DO NOT REQUIRE REPLACEMENT = 1 TREES  
 TOTAL REPLACEMENT TREES REQUIRED = 10 TREES

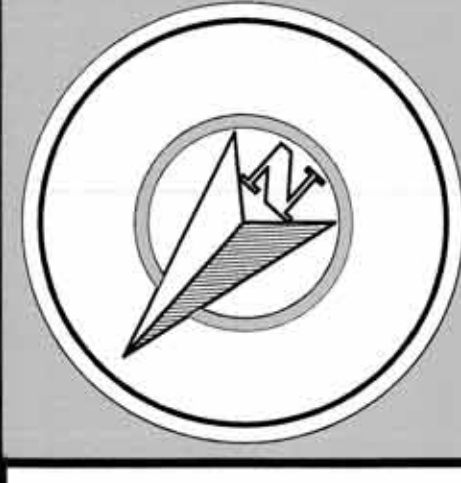
SECTION 10-180(B)(2)(d) - WHERE REPLACEMENT TREES ARE REQUIRED BUT NOT SUITABLE THE DEVELOPER SHALL EITHER PLANT THE TREES AT SUCH LOCATIONS AS DESIGNATED BY THE SHADE TREE COMMISSION OR PAY AN AMOUNT EQUAL TO THE REASONABLE COST OF PURCHASE AND PLANTING THE TREE TO THE BOROUGH.

**TREE INVENTORY**

KEY	SIZE	CONDITION	STATUS	REPLACEMENT QUANTITY
1	6"	FAIR	TO BE REMOVED	3
2	8"	FAIR	TO BE REMOVED	3
3	21"	FAIR	TO BE REMOVED	5
4	19"	FAIR	TO REMAIN	0
5	19"	DEAD/DYING	TO BE REMOVED	N/A
6	12"	FAIR	TO BE REMOVED	4
7	10"	FAIR	TO BE REMOVED	5
8	36"	DEAD/DYING	TO BE REMOVED	N/A
9	8"	FAIR	TO BE REMOVED	3
10	18"	DEAD/DYING	TO BE REMOVED	N/A
11	24"	DEAD/DYING	TO BE REMOVED	N/A
12	12"	FAIR	TO BE REMOVED	4
13	19"	FAIR	TO BE REMOVED	4
14*	24"	FAIR	TO BE REMOVED	7
15	15"	DEAD/DYING	TO BE REMOVED	N/A
16	6"	FAIR	TO BE REMOVED	3
17	21"	FAIR	TO BE REMOVED	5
18	21"	FAIR	TO BE REMOVED	5
19	15"	FAIR	TO BE REMOVED	4
20	15"	FAIR	TO BE REMOVED	4
21	5"	FAIR	TO BE REMOVED	1
22	5"	FAIR	TO BE REMOVED	3
23	6"	FAIR	TO BE REMOVED	3
24	15"	FAIR	TO BE REMOVED	4
25	5"	FAIR	TO BE REMOVED	1
26	21"	FAIR	TO BE REMOVED	5
27	32"	DEAD/DYING	TO BE REMOVED	N/A
		TOTAL		TO TREES

\*TREE NOT COUNTED TOWARD REPLACEMENT - SECTION 10-180(B)(2)(c)  
 NOTE: DEAD/DYING TREES NOT INCLUDED FOR TREE REPLACEMENT  
 IF ANY ADDITIONAL TREES REQUIRE REMOVAL, ADDITIONAL REQUIRED TREE REPLACEMENT SHALL BE PROVIDED

- REFERENCES**
- PLAN ENTITLED "BOUNDARY AND TOPOGRAPHY SURVEY FOR ROSAMIA PROPERTY MANAGEMENT, L.L.C." PREPARED BY LANDMARK SURVEYS, PROJECT NUMBER 19041, DATED APRIL 4, 2019.
  - PLAN ENTITLED "REDEVELOPMENT PLAN FOR HIGHLAND AVENUE HOUSE #1" PREPARED BY MARQUE ARCHITECTURE, PROJECT NUMBER 19-071, HOUSE #1 VARIANCE, DATED APRIL 18, 2019.
  - PLAN ENTITLED "ROSAMIA PROPERTY MANAGEMENT, L.L.C. HIGHLAND AVENUE HOUSE #1" HOUSE ARCHITECTURE, PROJECT NUMBER 19-071, HOUSE ARCHITECTURE, DATED APRIL 18, 2019.
  - BOROUGH OF METUCHEN ZONING MAP, ADOPTED OCTOBER 17, 1988; AND REVISED THROUGH NOVEMBER 25, 2003.
  - BOROUGH OF METUCHEN TAX MAP SHEETS 34 (SITE), AND 28, 29 & 35 (SURROUNDING PARCELS).



HORIZONTAL DATUM : NAD83 / NAD1983  
**GRAPHIC SCALE**  
 SCALE: 1"=20'

REVISIONS	DATE
1) MUNICIPAL COMMENTS	11/26/19
2) MUNICIPAL COMMENTS	05/27/20
3) ACCESS PLANS	07/17/20
4) DEVELOPMENT PLAN	12/17/20

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.  
 CHKD BY: \_\_\_\_\_ DATE: \_\_\_\_\_



THE STATE OF NEW JERSEY REQUIRES CERTIFICATION BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR ANY PERSON PERMITTED TO SEAL THIS DRAWING. ANY SURFACE ANYWHERE IN THE STATE.

**menlo engineering associates**  
 Civil Engineering Consultants  
 Landscape Architects  
 Professional Planners  
 261 Cleveland Avenue  
 Highland Park, NJ 08904  
 menloeng.com | LinkedIn | Facebook | Twitter  
 732-846-8585 | 732-846-9439  
 Certificate of Authorization: 2402791900

**HIGHLAND AVENUE SUBDIVISION**

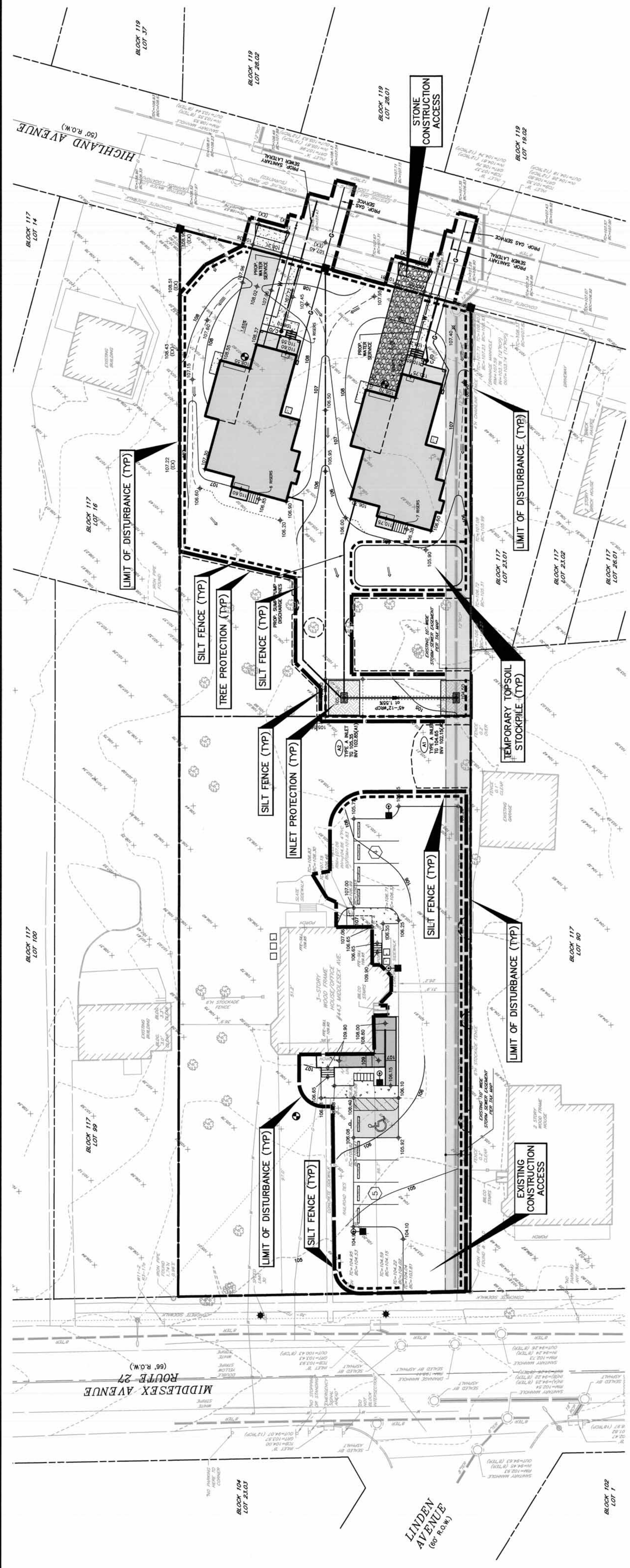
BOROUGH OF METUCHEN  
 MIDDLESEX COUNTY  
 NEW JERSEY

BLOCK 117, LOT 93  
 TAX MAP SHEET #24  
 1.114 ACRES

**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWN BY: MAO  
 DESIGNED BY: MAO  
 APPROVED BY: WILLIAM A. LANE  
 PROFESSIONAL ENGINEER  
 LICENSE #12577  
 STATE OF NEW JERSEY

PROJECT NUMBER	2019-042	SE-1
DATE OF ISSUE	JUNE 24, 2019	8
REVISION	DECEMBER 21, 2020	



AREA OF DISTURBANCE  
 28,010 SF (0.64 AC)





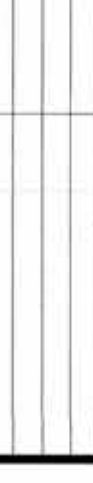
**CONSTRUCTION DETAIL NOTES**

1. MARKINGS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO ORDERING.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
24. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
26. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
27. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
28. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
29. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
30. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.

NO.	REVISIONS	DATE
1	REDEVELOPMENT PLAN	05/27/20
2		12/27/20

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.

DATE: \_\_\_\_\_



menlo engineering associates  
Civil Engineering Consultants  
Landscape Architects  
Professional Planners  
261 Claveland Avenue  
Highland Park, NJ 08904  
menloeng.com | in | f | o | a | i | c | a | t | e  
732-946-8065 | 732-946-9439  
Certificate of Authorization: 2423795100

HIGHLAND AVENUE SUBDIVISION

BOROUGH OF METUCHEN MIDDLESEX COUNTY NEW JERSEY

BLOCK 117, LOT 93  
TAX MAP SHEET #34  
1.114 ACRES

CONSTRUCTION DETAILS (1)

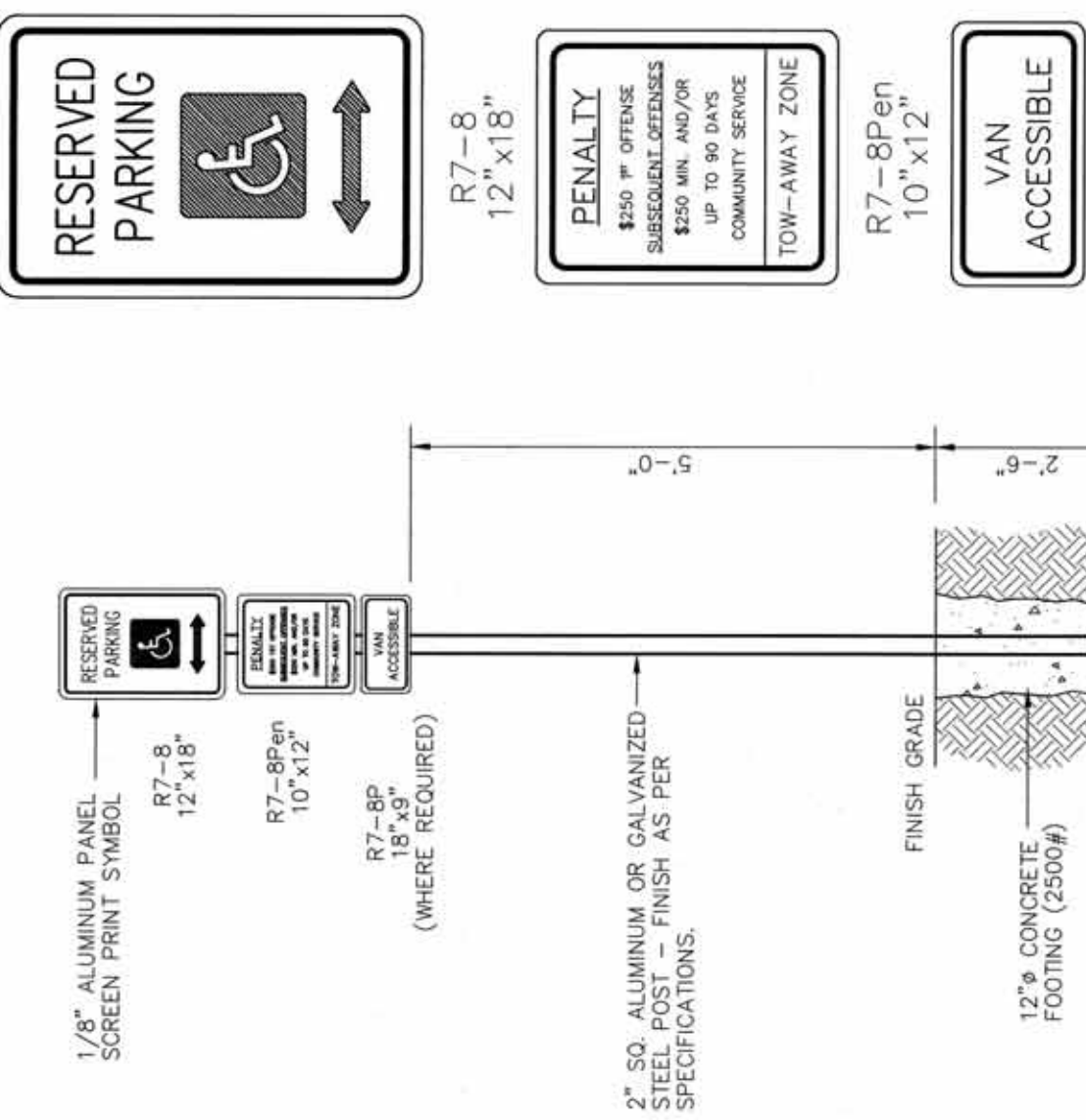
DRAWN BY: WILLAM J. LANE  
CHECKED BY: WILLAM J. LANE  
APPROVED BY: WILLAM J. LANE  
THIS WORK PREPARED UNDER THE SUPERVISION OF WILLAM J. LANE, LICENSED PROFESSIONAL ENGINEER, N.J.P.E.# 40262

PROJECT NUMBER: 2019.042  
DATE OF ISSUE: JUNE 24, 2019  
REVISION: 1  
DE-1  
10  
DECEMBER 21, 2020

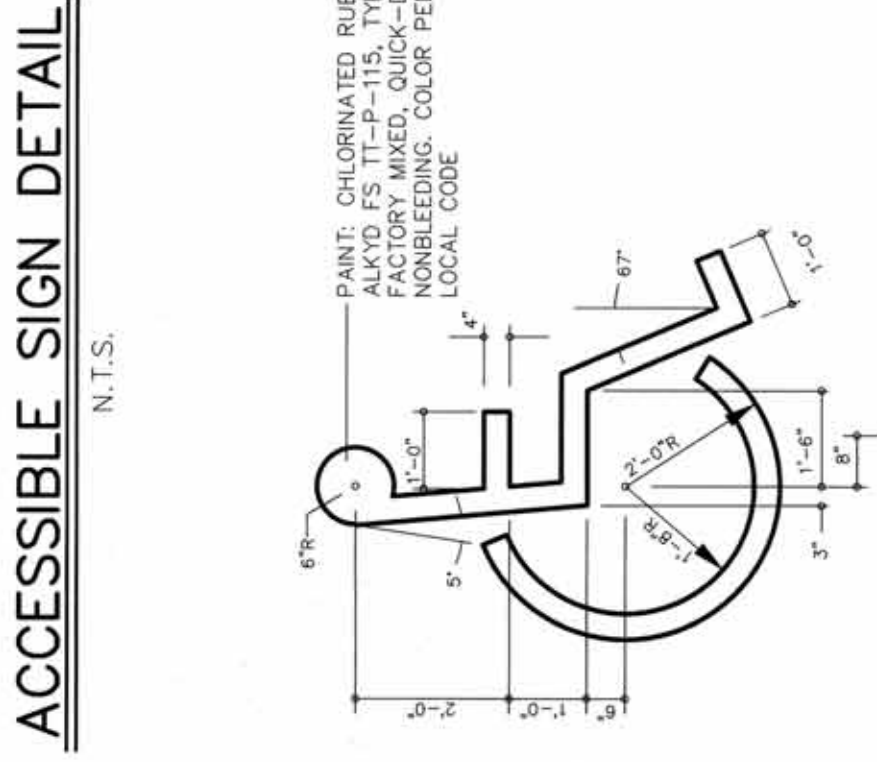
**GENERAL ADA NOTES**

1. PEDESTRIAN CURBS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
2. CURB RAMP DESIGN: CURB RAMP DESIGN WHERE THE WIDTH OF THE CROSSWALK WILL NEED TO BE GREATER THAN 10'-0" WIDE.
3. CURB RAMP DESIGN: CURB RAMP DESIGN WHERE THE WIDTH OF THE CROSSWALK WILL NEED TO BE GREATER THAN 10'-0" WIDE.
4. DEPRESSIBLE CURBS: DEPRESSIBLE CURBS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
5. DETECTABLE WARNING SURFACES: DETECTABLE WARNING SURFACES SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
6. DETECTABLE WARNING SURFACES: DETECTABLE WARNING SURFACES SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
7. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
8. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
9. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
10. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
11. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
12. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
13. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
14. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
15. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
16. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
17. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
18. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
19. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
20. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
21. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
22. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
23. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
24. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
25. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
26. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
27. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
28. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
29. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
30. JOINTS: JOINTS SHALL BE FINISHED WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.

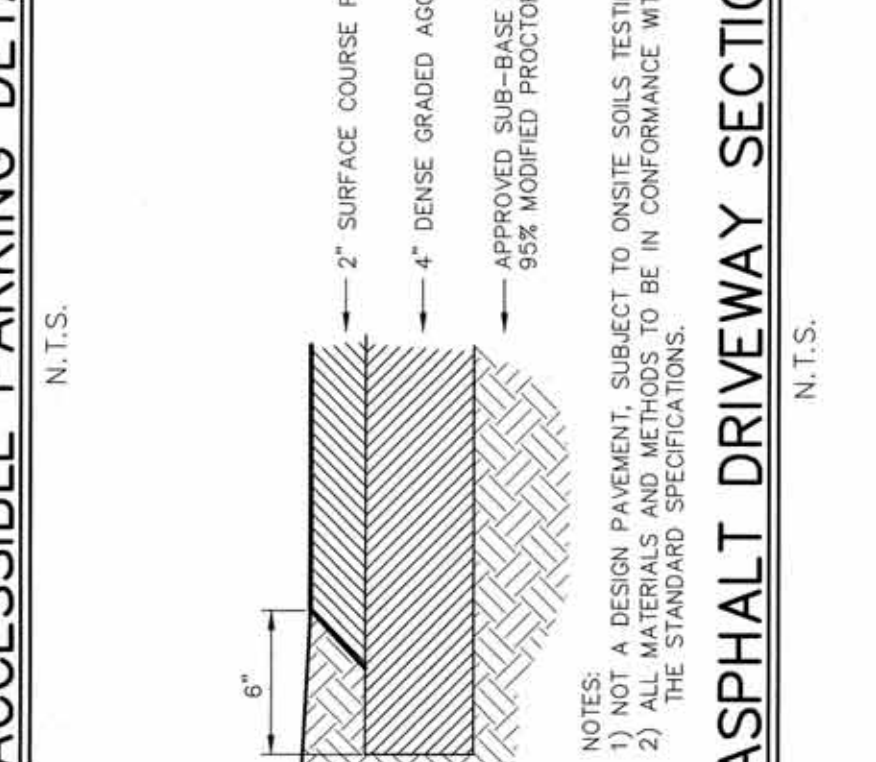
**RESERVED PARKING**



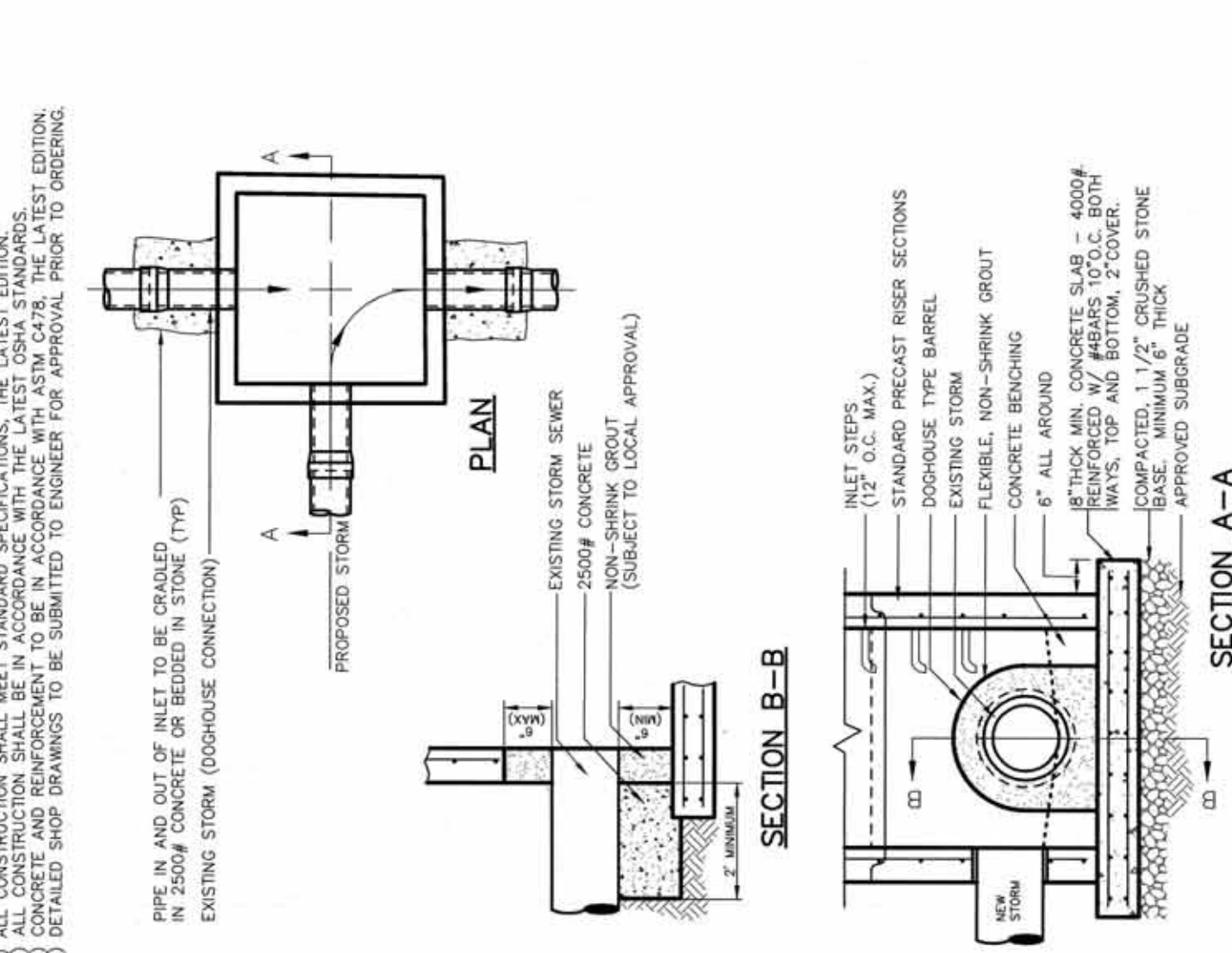
**ACCESSIBLE SIGN DETAIL**



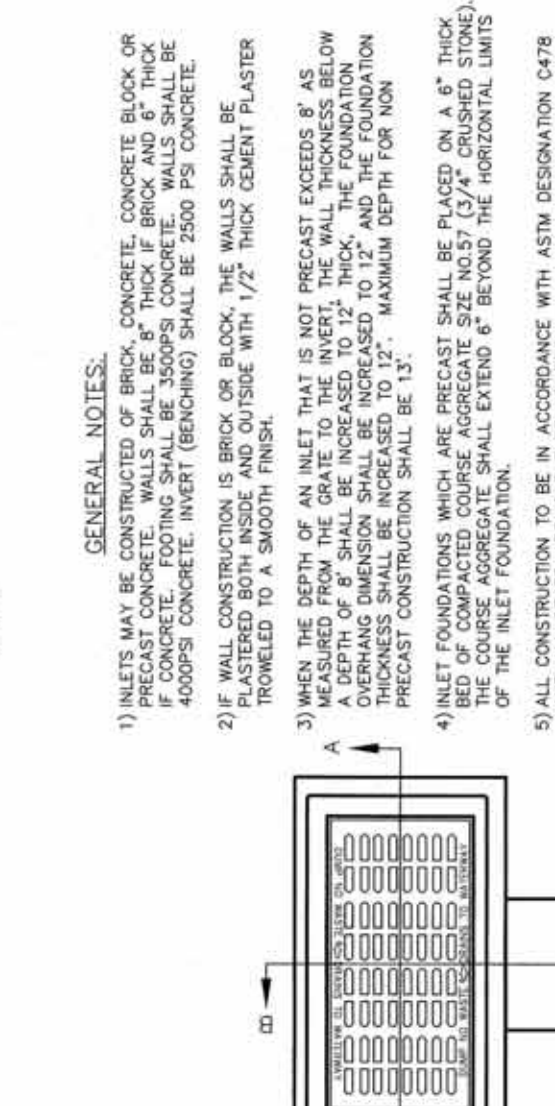
**ACCESSIBLE PARKING DETAIL**



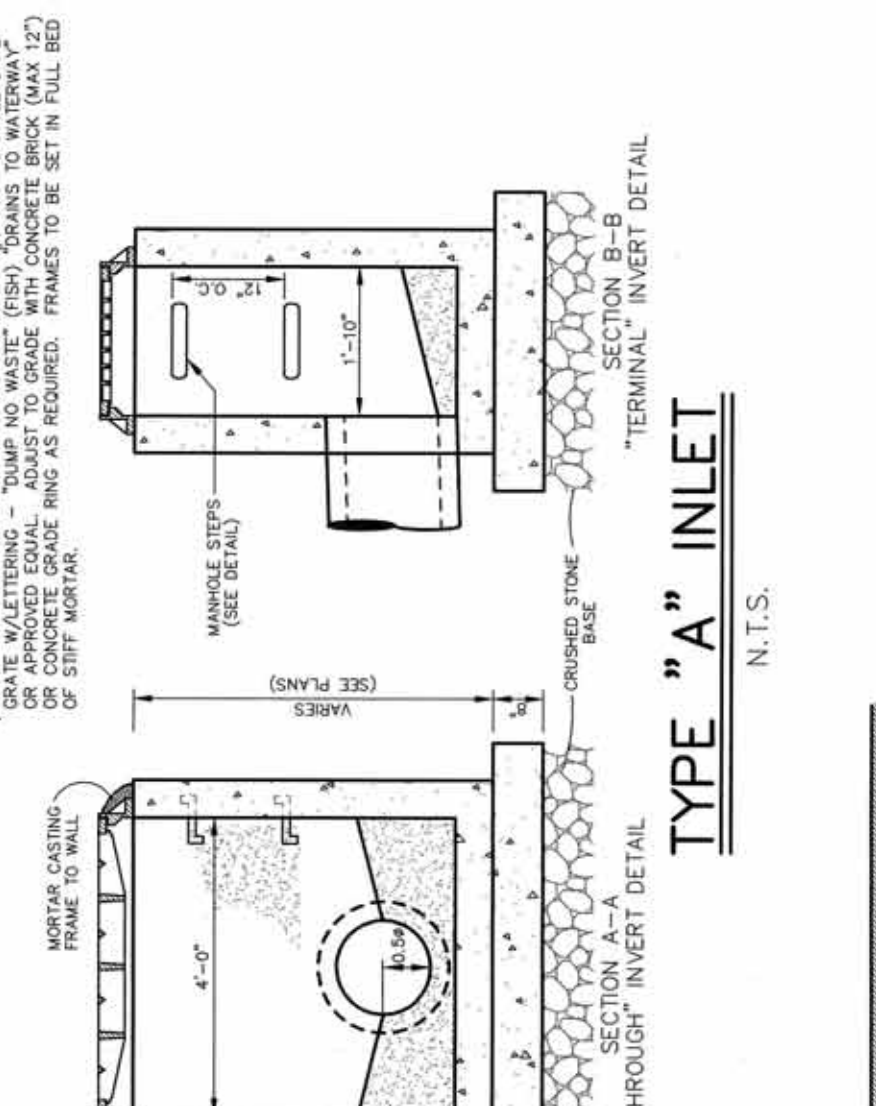
**CONCRETE INLET (DOGHOUSE)**



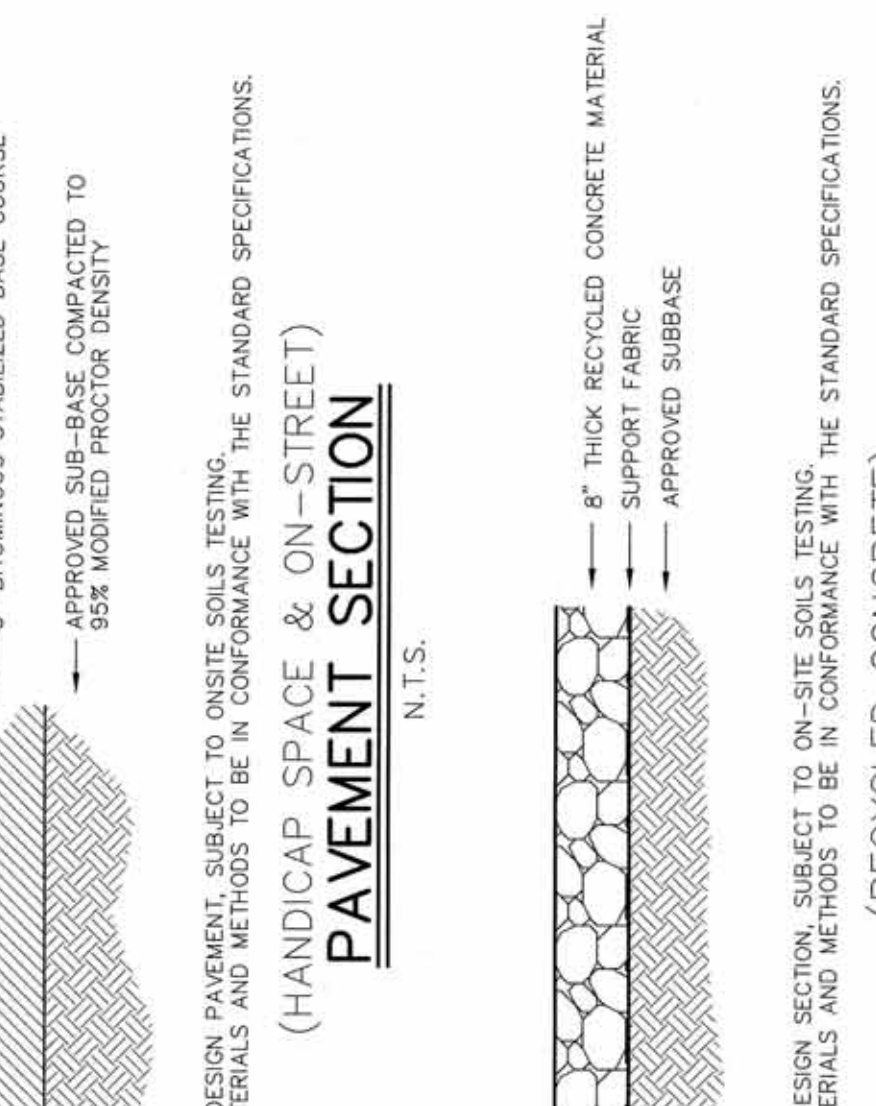
**TYPE \"A\" INLET**



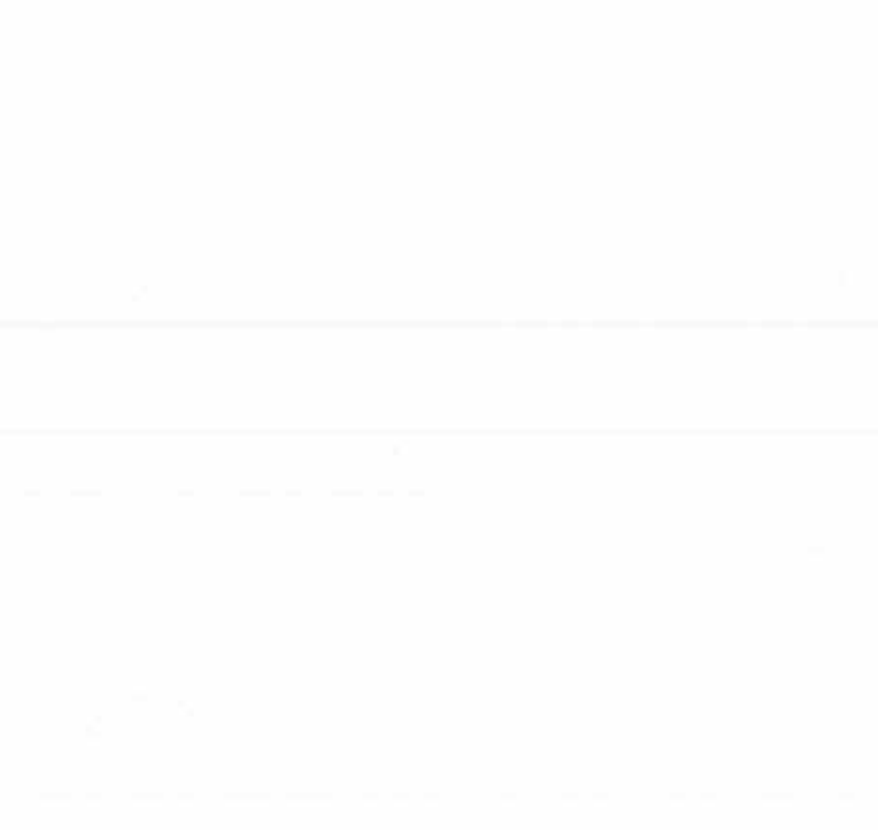
**PAVEMENT SECTION**



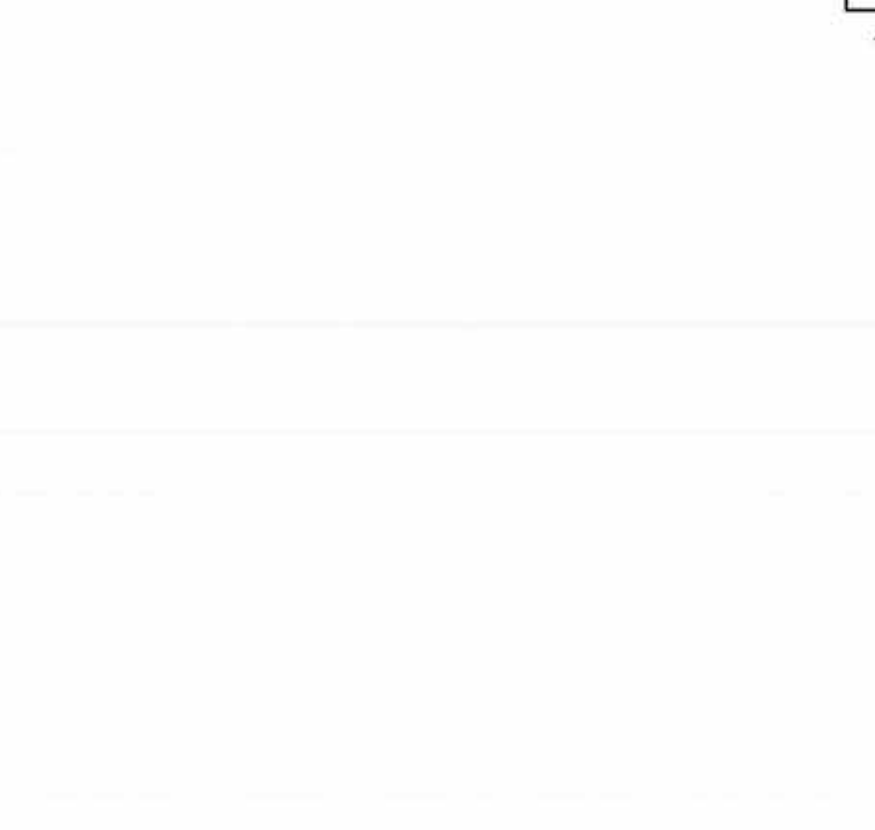
**GRAVEL PARKING/DRIVEWAY**



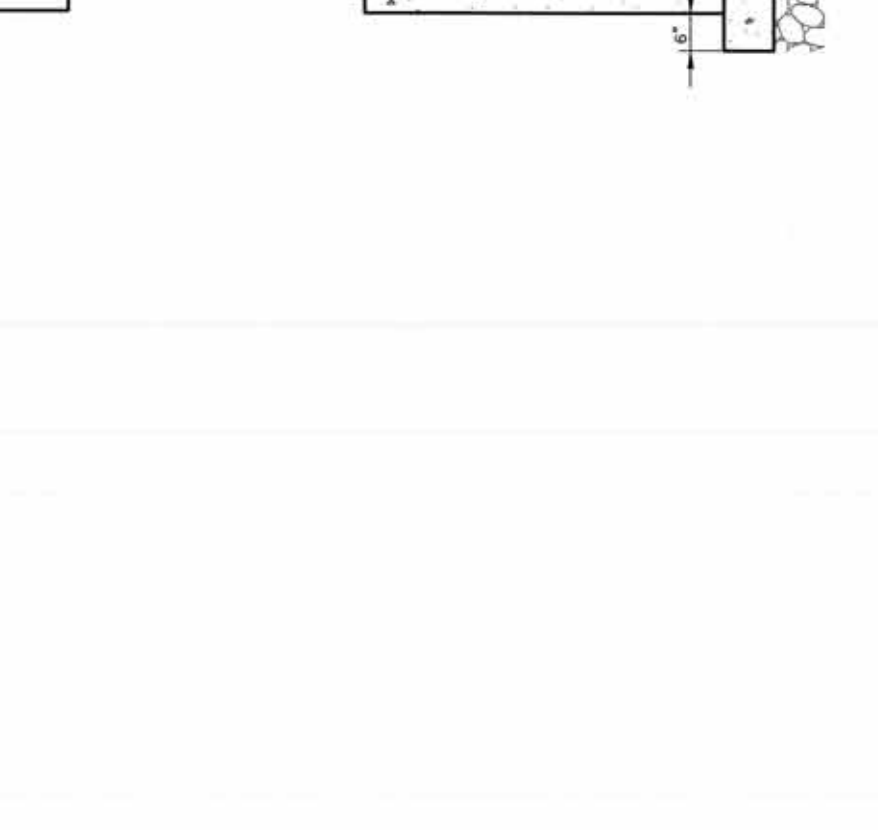
**STANDARD CONCRETE CURB (18\")**



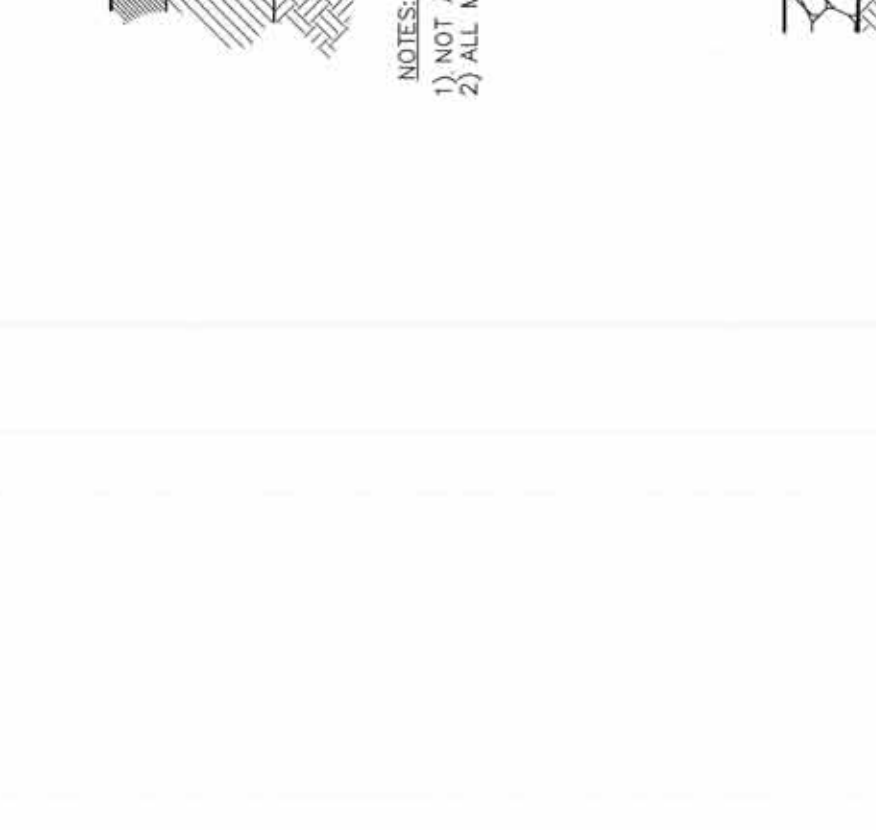
**DEPRESSED CURB**



**CONCRETE SIDEWALK**



**CONCRETE BUMPER BLOCK**



**APRON DETAIL**





