

PROPERTY OWNERS LIST

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
49 52.01	NORCROSS AVE	1	YUNCO, LLC 21 LAUREL ROAD DEMAREST, NJ 07627
49 53	102 NORCROSS AVE.	4B	SCOTT REALTY HOLDINGS LLC 102 NORCROSS AVE METUCHEN, NJ 08840
49 54	104-108 NORCROSS AVE.	4B	NORCROSS ACQUISITION LLC P.O. BOX 4195 METUCHEN, NJ 08840
51.4 25	278 CENTRAL AVE.	2	ILLUZZI, JOSEPH A JR 278 CENTRAL AVE. METUCHEN, N.J. 08840
51.4 26	274 CENTRAL AVE. L26.1	2	BACCHUS, EUSTACE & JUANA 274 CENTRAL AVE. METUCHEN, NJ 08840
51.4 27	CENTER ST L27-1,23,24	15C	BOROUGH OF METUCHEN 500 MAIN ST. METUCHEN, NJ 08840
51.04 20.01	292 CENTRAL AVE.	2	RUFOLIO, JOSEPH 6 MOYSE PLACE STE 200 EDISON, NJ 08820
52 11.1	519 W. CHESTNUT AVE. 11.2	2	SOLTY, MICHAEL & JUDY 519 W CHESTNUT AVE METUCHEN NJ 08840
52 13.1	521 W. CHESTNUT AVE. 13.2	2	KOCHY, LEMNIE & QUACKENBUSH, JAMES C 521 W CHESTNUT AVE METUCHEN, NJ 08840
52 15	252 CENTRAL AVE. 17,19	2	AMTIN, SEETH J. & JENNIFER S. 252 CENTRAL AVE. METUCHEN, NJ 08840
52 21	256 CENTRAL AVE. L23	2	ABDELHAHID, NADER & GEORGETTE 256 CENTRAL AVE. METUCHEN NJ 08840
52 25	258 CENTRAL AVE. L27,27.1	2	OGLESBY, DEIRDRE 258 CENTRAL AVE METUCHEN NJ 08840
53 3.1	236 CENTRAL AVE. L3,2.1	15D	METUCHEN CONG OF JEHOVAH WITNESS C/O DICAMPI 669 OLD POST EDISON NJ 08817
48.1 61.1	203 NORCROSS AVE.	4B	LEONARD STREET PARTNERSHIP 4 YORKSHIRE COURT WARREN, NJ 07059
48.1 65	4 LEONARD ST.	4B	METUCHEN REALTY, L.L.C. 4 LEONARD STREET METUCHEN, NJ 08840
49 11	COPPERFIELD LANE 57	4C	HEMESTEAD VILLAGE AT METUCHEN, LLC 90 WOODBRIDGE CENTER DR. WOODBRIDGE, NJ 07095
49 14.1	233 CENTRAL AVE.	4A	DNI INDUSTRIES INC 310 CAMRUS DR EDISON, NJ 08837
49 14.2	235 CENTRAL AVE.	2	DHARIA MANAGEMENT LLC 233 CENTRAL AVE. METUCHEN, NJ 08840
49 16	237 CENTRAL AVE. L 16.1	1	247 CENTRAL METUCHEN LLC 247 CENTRAL AVE METUCHEN, NJ 08840
49 18.1	247 CENTRAL AVE.	4A	247 CENTRAL METUCHEN LLC 247 CENTRAL AVE METUCHEN, NJ 08840
49 18.2	257 CENTRAL AVE.	4A	RONALD HOLDINGS LLC 257 CENTRAL AVE METUCHEN, NJ 08840
49 18.3	267 CENTRAL AVE.	4A	LEPORE REALTY LLC 257 CENTRAL AVE. METUCHEN, NJ 08840
49 32.6	279 CENTRAL AVE. L33	4A	METUCHEN CENTRAL, LLC 43 OAK AVE METUCHEN, NJ 08854
49 39	33 JERSEY AVE.	4B	TWO BROTHERS HOLDINGS LLC 33 JERSEY AVE METUCHEN, NJ 08840
49 40	JERSEY AVE.	4A	NY SMSA LP D/B/A VERIZON WIRELESS P.O. # 2549-DUFF & PHELES ADDISON, TX 75001
49 50	289 CENTRAL AVE.	4A	TOP SEED REALTY 4 LLC 160 LIBERTY ST, UNIT-3B METUCHEN, NJ 08840
49 51.01	281-287 CENTRAL AVE.	4A	YUNCO, LLC 21 LAUREL ROAD DEMAREST, NJ 07627

P.S.E. & G. Co.
Manager-Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102

Cablevision of Raritan Valley
275 Centennial Avenue
CN 6805
Piscataway, NJ 08855
Attn: Margurite Prenderville
Construction Department

Texas Eastern Transmission Corp.
501 Coolidge Street
South Plainfield, NJ 07080

New Jersey Bell Telephone Co.
540 Broad St. - Room 305
Newark, NJ 07101

Middlesex County Planning Board
Middlesex County Administration Building
John F. Kennedy Square
75 Bayard Street, 5th Floor
New Brunswick, NJ 08901

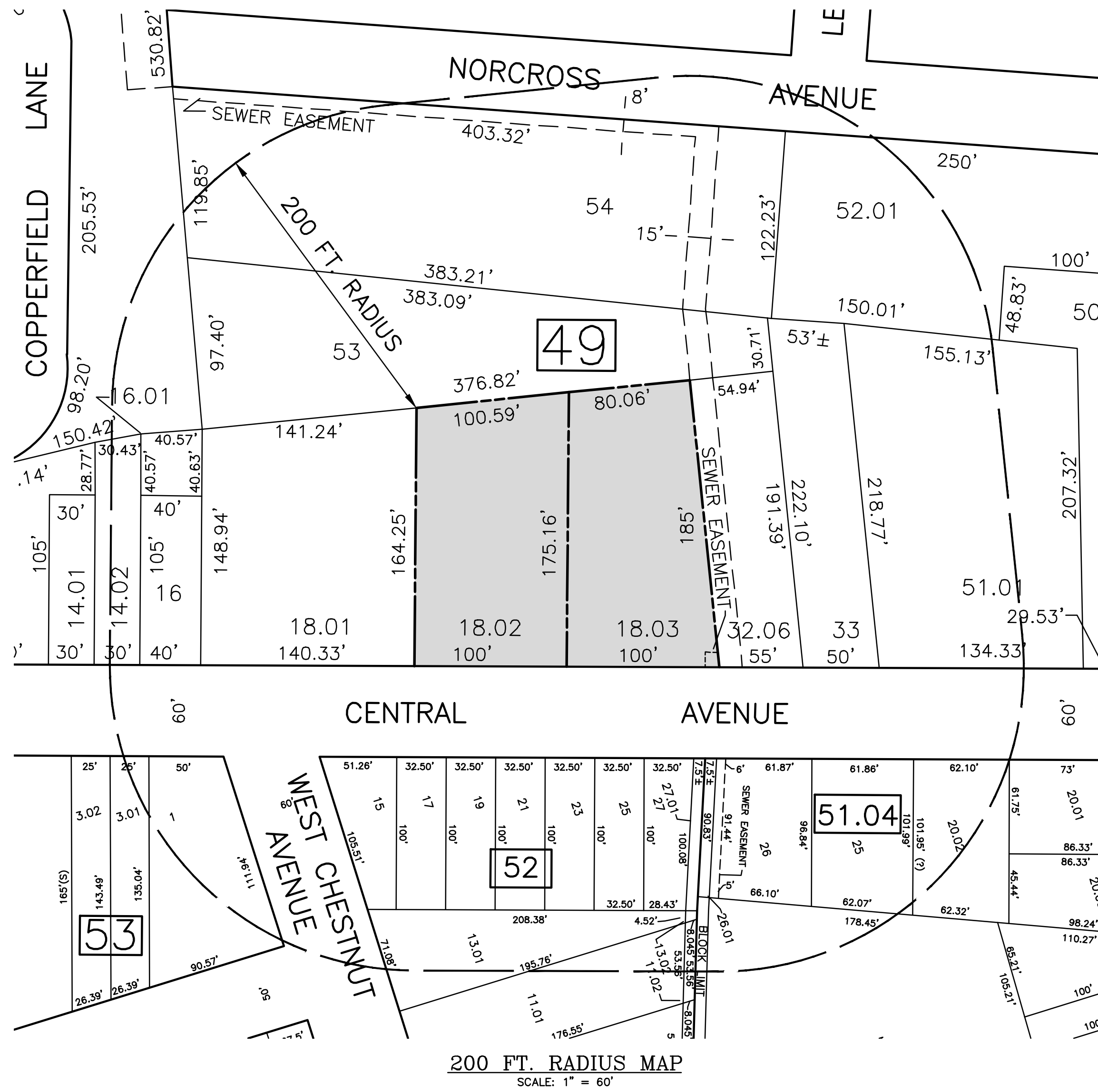
Elizabethown Gas Co.
1 Elizabeth Plaza
P.O. Box 3175
Union, NJ 07083

Buckeye Pipeline
P.O. Box 368
Etnah, Pa. 18049

Middlesex Water Co.
485 Rt 1 So., Bldg C. 4th Flr.
Iselin, NJ 08830

Parking Authority
500 Main Street
Metuchen, NJ 08840

PRELIMINARY & FINAL MAJOR SITE PLAN PREPARED FOR 257 & 267 CENTRAL AVENUE BLOCK 49, LOTS 18.02 & 18.03 TAX MAP 10 BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY



CONSTRUCTION NOTES:

- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY STATE, COUNTY AND CITY PERMITS.
- THE CONTRACTOR SHALL CONTACT THE UTILITIES COORDINATION COMMITTEE AT 1-800-272-1000 FOR A UTILITY MARK UP IN THE AREA OF THE CONSTRUCTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS IN NO WAY SHOW ALL THE EXISTING UNDERGROUND UTILITIES LOCATED WITHIN THE PROJECT SITE AND CENTRAL AVENUE R.O.W. EXISTING UTILITIES INFORMATION AS SHOWN ON THESE PLANS HAS BEEN COLLECTED FROM VARIOUS SOURCES AND ARE NOT CERTIFIED FOR ACCURACY OR COMPLETENESS. IT IS THEREFORE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL THE EXISTING UTILITIES IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
- WHERE EXISTING UTILITIES ARE TO BE CROSSED BY THE PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. THE TEST PIT INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO PERMIT ADJUSTMENTS, IF REQUIRED.
- ALL THE EXISTING POWER POLES WITHIN 10 FEET OF THE PROPOSED IMPROVEMENTS SHALL EITHER BE RELOCATED OR SUPPORTED PER THE RECOMMENDATIONS OF THE UTILITY COMPANY.

GENERAL NOTES

- PROPERTY KNOWN AND DESIGNATED AS LOTS 18.02 & 18.03 IN BLOCK 49 AS SHOWN ON THE CURRENT TAX MAP SHEET No. 10 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
 LOT 18.02 - 16,973.55 SF (0.39 ACRES)
 LOT 18.03 - 16,165.40 SF (0.37 ACRES)
 TOTAL AREA = 33,138.95 SF (0.76 ACRES)
- AREA OF SITE:
 THE PROPERTY IS SITUATED IN ZONE "B-2" (NEIGHBORHOOD BUSINESS DISTRICT).
 LOT 18.02 CURRENTLY HAS AN EXISTING 2 STORY FRAME & STUCCO DWELLING AND 14 EXISTING PAVED PARKING STALLS. LOT 18.03 CURRENTLY HAS AN EXISTING 2 STORY FRAME & STUCCO DWELLING AND 7 PAVED PARKING STALLS AND 15 UN-PAVED PARKING STALLS.
 LOT 18.02 - EXISTING 2 STORY
 RETAIL AREA: 2,879 SF
 STORAGE AREA: 1,258 SF
 APARTMENTS: (3) 2 BR UNITS
 LOT 18.03 - EXISTING 2 STORY
 RETAIL AREA: 1,940 SF
 OFFICE AREA: 295 SF
 APARTMENTS: (2) 1 BR UNITS
- THE APPLICANT PROPOSES TO PAVE AND STRIPE THE REAR OF BOTH LOTS 18.02 & 18.03 PER PRIOR APPROVALS (1987 & 2013).
- SURVEY REFERENCE:**
 THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A PLAN ENTITLED, "TOPOGRAPHIC SURVEY 257 & 267 CENTRAL AVENUE, BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY, BLOCK 49 LOTS 18.02 & 18.03", PREPARED BY BRUNSMICK SURVEYING INCORPORATED, PISCATAWAY, N.J., DATED 05/02/2019.
 NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

- ALL PROPOSED IMPROVEMENTS SHALL CONFORM TO THE BOROUGH OF METUCHEN AND/OR MIDDLESEX COUNTY STANDARDS AND SPECIFICATIONS.
- OWNER/APPLICANT:**
 LOT 18.02: RONALD HOLDINGS, LLC
 C/O BERNADETTE LAPORE
 257 CENTRAL AVENUE
 METUCHEN, NEW JERSEY 08840
 LOT 18.03: RONALD HOLDINGS, LLC
 C/O BERNADETTE LAPORE
 257 CENTRAL AVENUE
 METUCHEN, NEW JERSEY 08840

BULK REQUIREMENTS: ZONE "B-2" (NEIGHBORHOOD BUSINESS DISTRICT)

	REQUIRED	EXISTING LOTS 18.02 & 18.03	PROPOSED
MINIMUM LOT AREA	5,000 SF	33,138.95 SF	33,138.95 SF
MINIMUM LOT WIDTH	40 FT.	198.89 FT	198.89 FT
MINIMUM LOT DEPTH	100 FT.	174.08 FT	174.08 FT
MINIMUM FRONT YARD SETBACK	10 FT.	9.5 FT	9.5 FT
MINIMUM EACH SIDE YARD SETBACK	0 FT.	1.7 FT	1.7 FT
MINIMUM BOTH SIDE YARDS SETBACK	0 FT	21.9 FT	21.9 FT
MINIMUM REAR YARD SETBACK	25 FT	55.2 FT	55.2 FT
MAXIMUM BUILDING COVERAGE (PRINCIPLE & ACC.)	70%	(7,096 SF) 21.4%	(7,096 SF) 21.4%
MAXIMUM IMPERVIOUS COVERAGE (BLDG. & PVMT.)	60%	63.2%	65.8%
BUILDING HEIGHT	3 STORES/35 FT	< 3 STORES/35 FT	< 3 STORES/35 FT

* PROPOSED VARIANCE

OFF-STREET PARKING

- #257 CENTRAL AVENUE EXISTING CONDITIONS - PREVIOUS APPROVAL (1987) PARKING CALCULATIONS**
 RETAIL AREA: 2,879 SF / 200 = 14 STALL REQUIRED
 STORAGE AREA: 1,258 SF / 400 = 3 STALLS REQUIRED
 DWELLING UNIT: (3) UNITS / 1 PER UNIT = 3 STALLS REQUIRED
 TOTAL = 20 STALLS REQUIRED
 TOTAL = 24 STALLS PROVIDED (PAVED)
- #267 CENTRAL AVENUE EXISTING CONDITIONS - PREVIOUS APPROVAL (2013) PARKING CALCULATIONS**
 RETAIL AREA (B USE): 1,940 SF / 180 = 11 STALL REQUIRED
 OFFICE AREA (B USE): 295 SF / 180 = 2 STALLS REQUIRED
 APARTMENT: (2) 1 BR UNITS / 1.5 PER UNIT = 3 STALLS REQUIRED
 TOTAL = 16 STALLS REQUIRED
 7 STALLS PROVIDED (PAVED) + 15 STALLS PROVIDED (UN-PAVED)
 TOTAL = 22 POTENTIAL STALLS PROVIDED
- TOTAL PARKING REQUIRED FOR BOTH LOTS = 36 STALLS (EXISTING)
 TOTAL PARKING PROVIDED FOR BOTH LOTS = 46 STALLS (EXISTING)

#257 PROPOSED CONDITIONS - PARKING CALCULATIONS

RETAIL AREA: 2,879 SF / 180 = 16 STALLS REQUIRED
 STORAGE AREA: 1,258 SF / 1000 = 1 STALL REQUIRED
 APARTMENT: (3) 2 BR UNITS / 2.0 PER UNIT = 6 STALLS REQUIRED
 TOTAL = 23 STALLS REQUIRED
 TOTAL = 24 STALLS PROVIDED (PAVED)

#267 PROPOSED CONDITIONS - PARKING CALCULATIONS

RETAIL AREA: 1,940 SF / 180 = 11 STALL REQUIRED
 OFFICE AREA: 295 SF / 180 = 2 STALL REQUIRED
 APARTMENT: (2) 1 BR UNITS / 1.8 PER UNIT = 4 STALLS REQUIRED
 TOTAL = 17 STALLS REQUIRED
 TOTAL = 25 STALLS PROVIDED (PAVED)

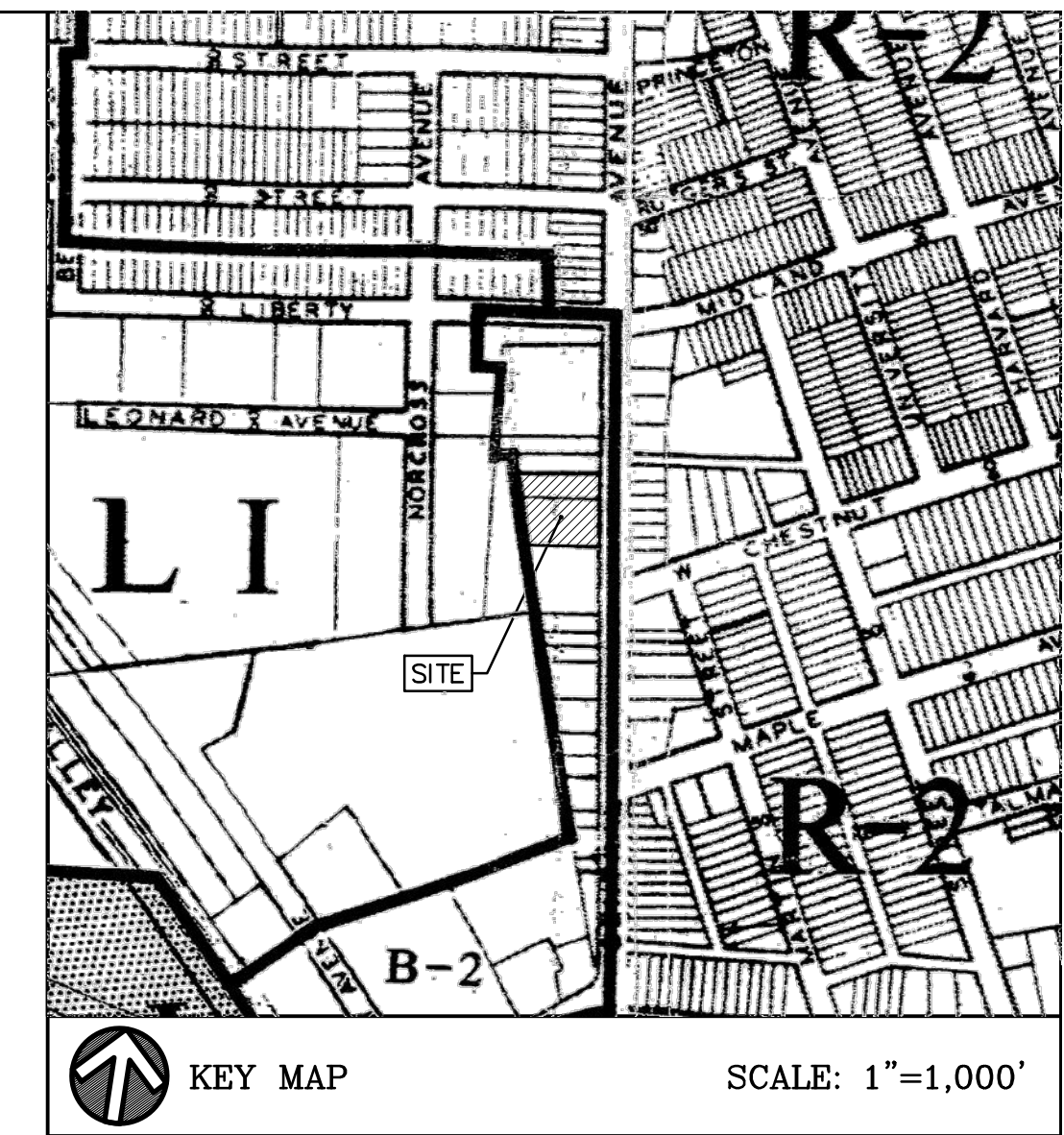
TOTAL PARKING REQUIRED FOR BOTH LOTS = 40 STALLS (PROPOSED)
 TOTAL PARKING PROVIDED FOR BOTH LOTS = 49 STALLS (PROPOSED)
 (TANDEM PARKING TO BE BANKED = 7 STALLS)

SUBMISSION NOTES:

- NO FLOODPLAINS, FLOODWAY, OR FLOOD FRINGE AREAS ARE KNOWN TO EXIST WITHIN 100 FEET OF THE SITE ACCORDING TO FIRM COMMUNITY PLAN NUMBER 340230061F.
- NO MARSHES, PONDS, OR LANDS SUBJECT TO FLOODING ARE KNOWN TO EXIST WITHIN 100 FEET OF THE SITE.
- SITE SOILS ARE GENERALLY RAPID DRAINING SAND AND PEA GRAVEL FILL ON HISTORIC SWAMPLAND (FRINGE OF DISMAL SWAMP) FILLED OVER 100 YEARS AGO.

REGULATORY NOTES:

- THE APPLICANT SHALL SUBMIT AN APPLICATION WITH FREEHOLD SOIL CONSERVATION DISTRICT.
- STORM WATER MANAGEMENT:
 2.1 SINCE THE PROJECT WILL NOT DISTURB MORE THAN ONE ACRE OR CREATE MORE THAN 0.25 ACRES OF IMPERVIOUS SURFACE, IT DOES NOT TRIGGER THE MAJOR SITE DEVELOPMENT RULES FOR NJDEP TIER 2 STORMWATER. THE PROJECT WILL INCREASE IMPERVIOUS SURFACE ON THE SITE BY APPROXIMATELY 5,900 SQUARE FEET OR 0.13 ACRES. THE TOTAL AREA OF DISTURBANCE IS APPROXIMATELY 20,000 SQUARE FEET OR 0.46 ACRES FOR BOTH ON-SITE AND OFF-SITE WORK.
 2.2 SINCE THE PROJECT IS IN THE METROPOLITAN PLANNING DISTRICT, GROUNDWATER RECHARGE IS NOT REQUIRED.
 2.3 DEPTH TO GROUNDWATER ASSUMED TO BE 5 FEET BGS BASED ON GROUNDWATER MONITORING WELL WATER ELEVATIONS AT BLOCK 49, LOT 18.01 (GAS STATION UNDER FAMILIAL COMMON OWNERSHIP).
- RELIEF FROM 110-151.D REQUESTED FOR DRIVEWAY WIDTH AT 12.4 FEET IN LIMITED SECTION. THIS IS AN EXISTING CONDITION CREATED IN 1987 AND REAFFIRMED BY SUBSEQUENT BOROUGH APPROVALS.
- RELIEF FROM 110-155.B REQUESTED FOR LOADING SPACES. SITE HAS OPERATED SINCE 1987 WITHOUT LOADING SPACES.
- RELIEF FROM 110-157 REQUESTED. ALTHOUGH THE PARKING LOT WILL BE UPGRADED FROM GRAVEL TO PAVEMENT, THE AREA ILLUMINATED WITH BUILDING MOUNTED SPOTLIGHTS.
- RELIEF FROM 110-175.D REQUESTED FOR REFUSE AREA SCREENING. THE AREA IS SCREENED BY A SLATTED FENCE NORTH AND LOCATION BEHIND EXISTING BUILDING.
- RELIEF FROM ALL OTHER DESIGN STANDARDS NOT SPECIFICALLY ADDRESSED HEREIN AS EXISTING CONDITIONS.



INDEX OF DRAWINGS

COVER SHEET & 200 FT. RADIUS MAP	1	-
EXISTING CONDITIONS MAP & SITE PLAN	2	-
GRADING & LANDSCAPING PLAN	3	-
SOIL EROSION & SEDIMENT CONTROL PLAN	4	-

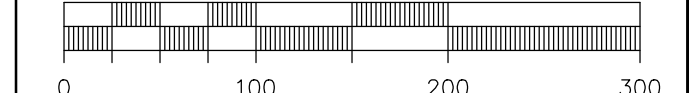
APPROVED BY THE PLANNING BOARD

CHAIRMAN OF THE PLANNING BOARD	DATE
SECRETARY OF THE PLANNING BOARD	DATE
BOROUGH ENGINEER	DATE

REV.	DESCRIPTION	DATE	BY

COVER SHEET & 200 FT. RADIUS MAP

GRAPHIC SCALE 1" = 100'



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ENGINEERING GROUP, INC.
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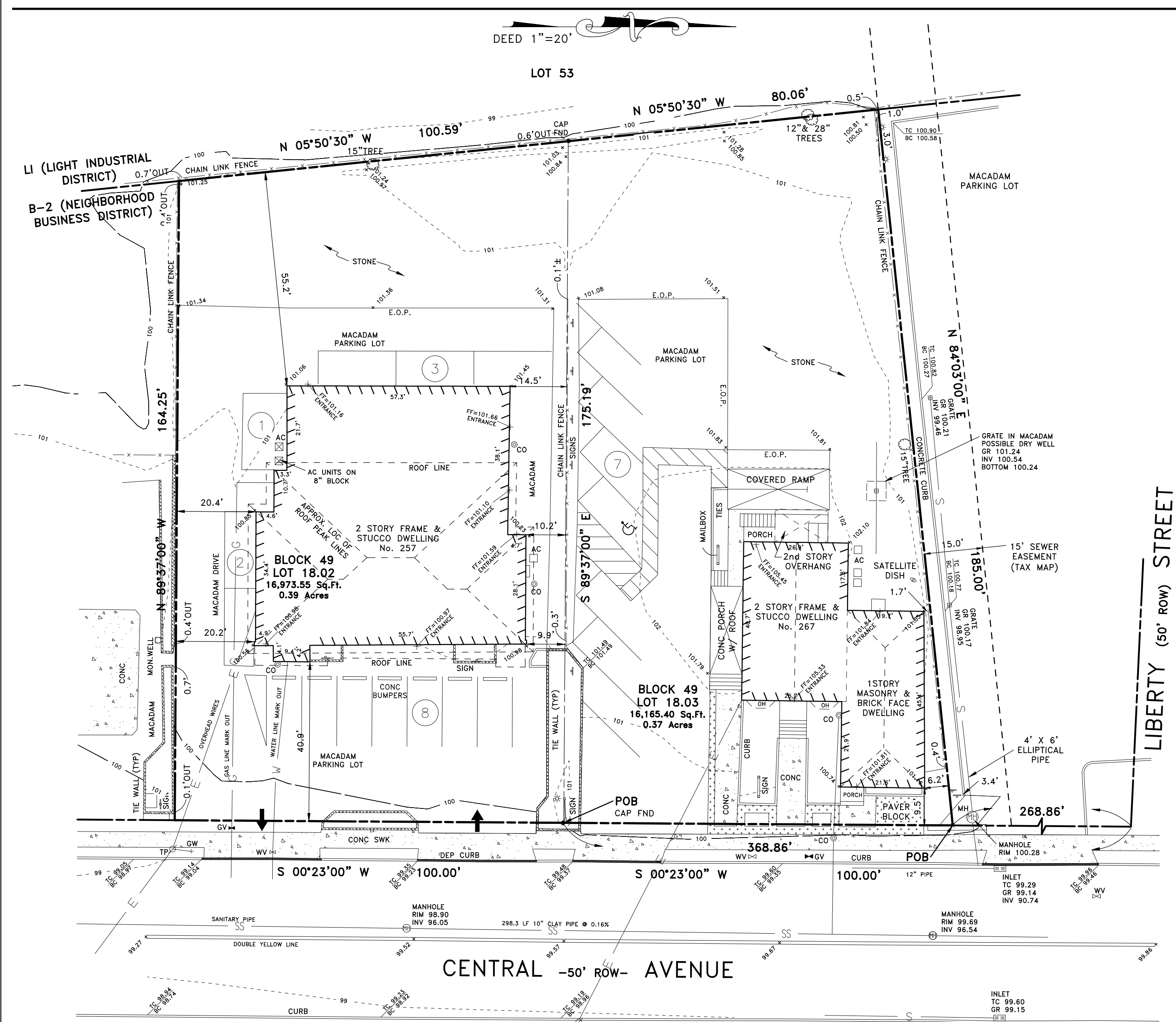
PRELIMINARY & FINAL MAJOR SITE PLAN
 PREPARED FOR:

**257 & 267 CENTRAL AVENUE
 BLOCK 49, LOTS 18.02 & 18.03**

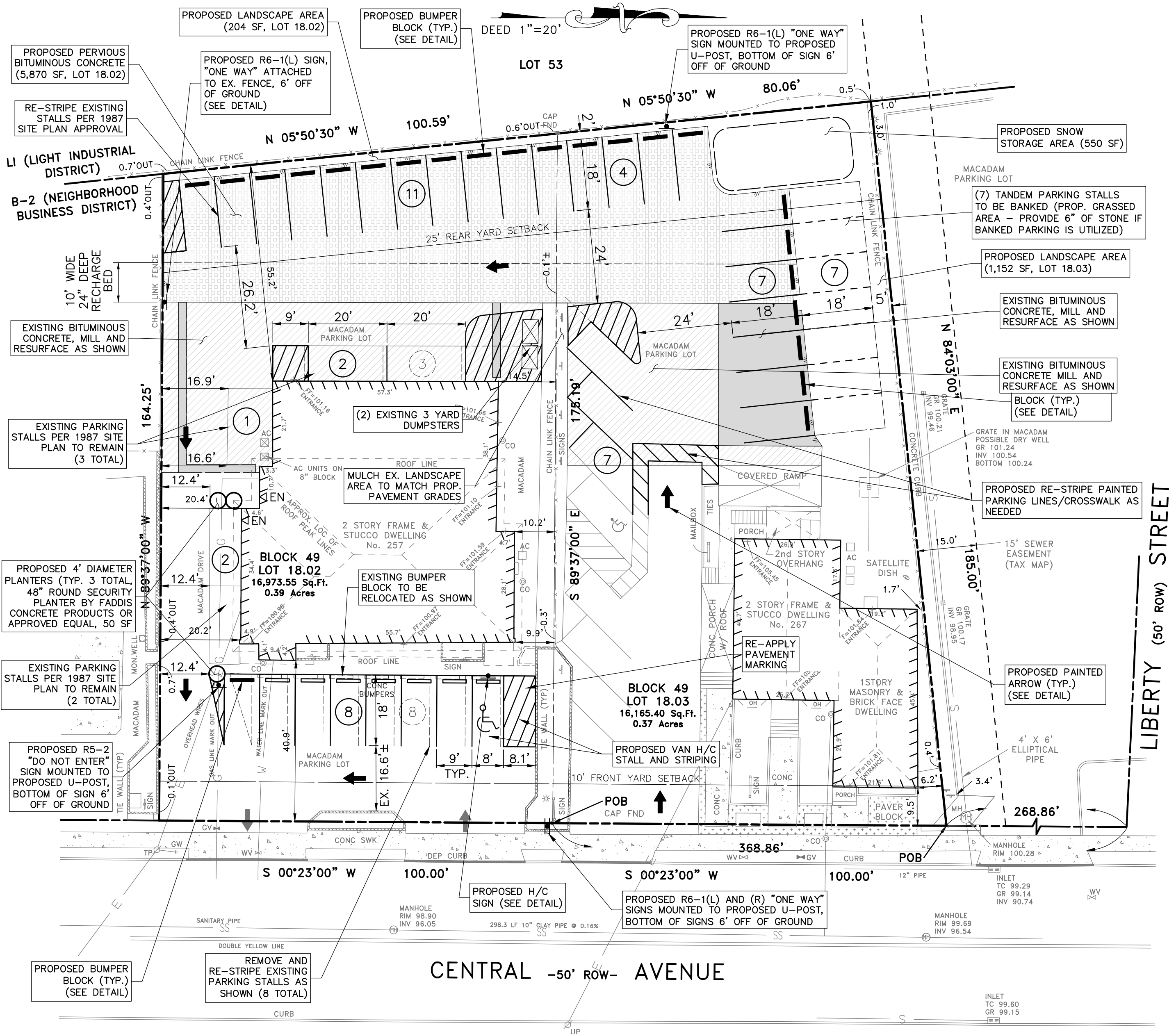
TAX MAP 10
 SITUATED IN:
 BOROUGH OF METUCHEN
 MIDDLESEX COUNTY, NEW JERSEY

CAD:	46-51	DATE:	02/19/21	SCALE:	1" = 60'
FILE:	046.0051	DRAWN:	DSA	SHEET	1 OF 4

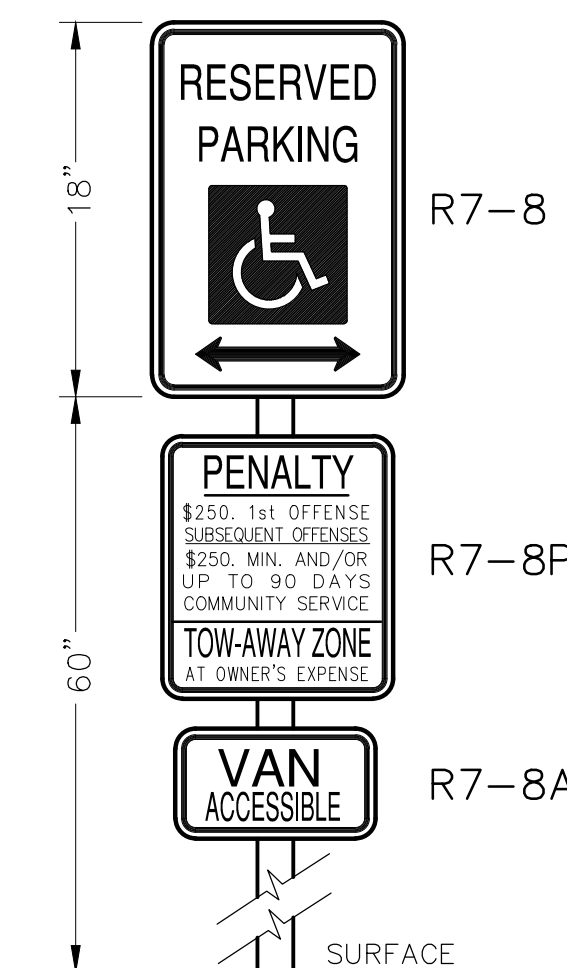
Leslie A. Walker III
LESLIE A. WALKER III, PE DATE
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NUMBER: 24GE04729700



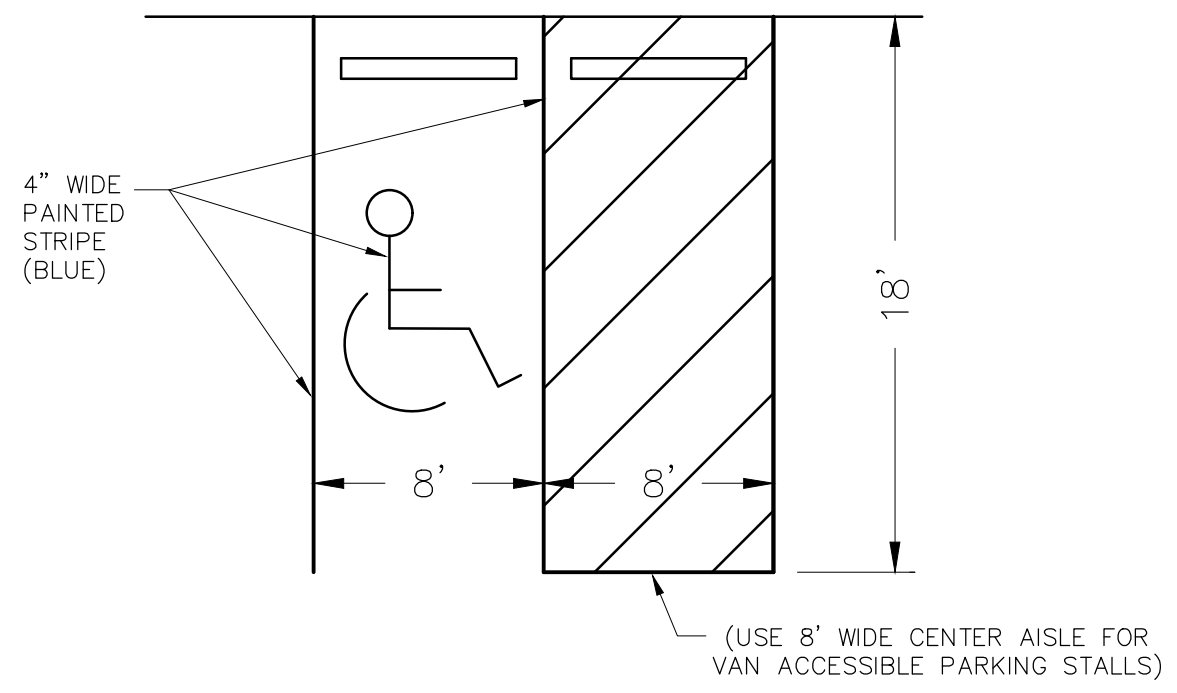
EXISTING CONDITIONS MAP



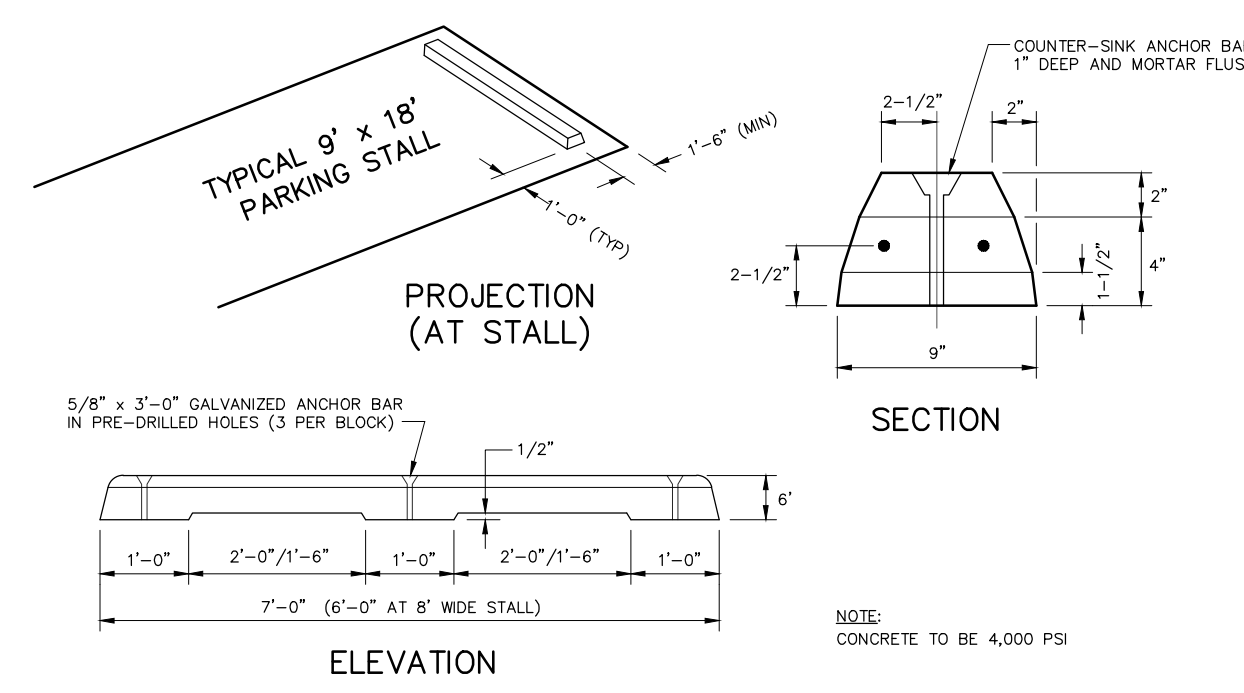
SITE PLAN



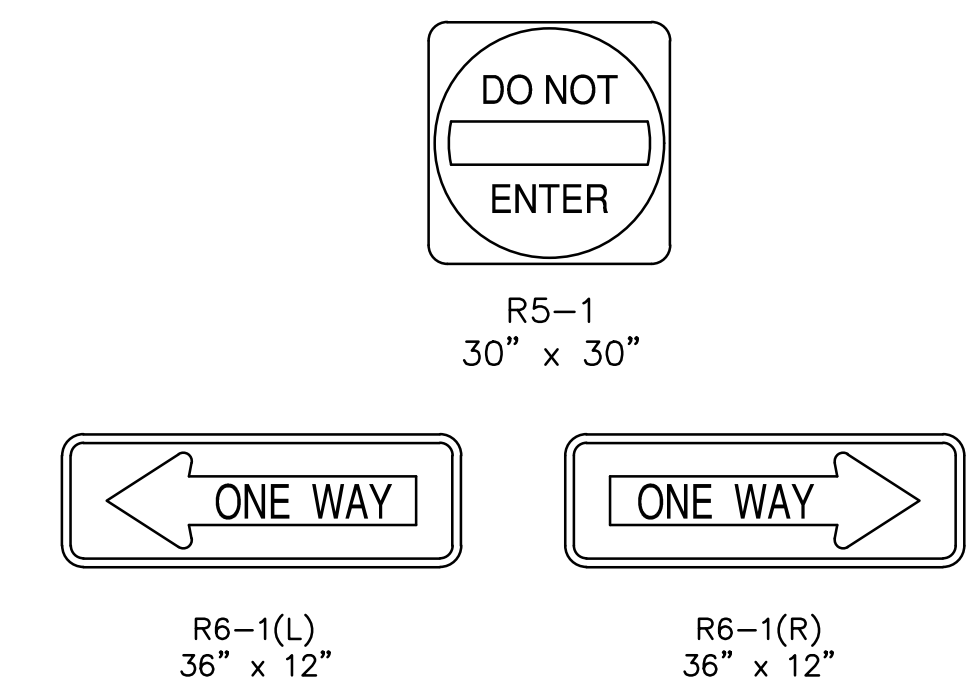
SIGN DETAIL
N.T.S.



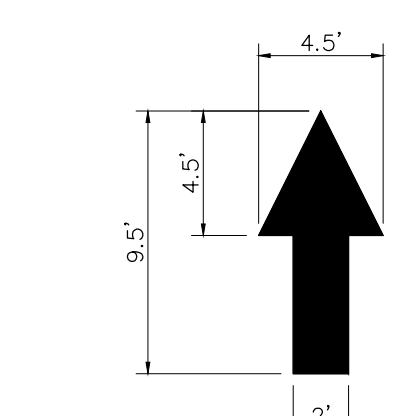
TYPICAL HANDICAPPED PARKING STALL STRIPING DETAIL
N.T.S.



PRECAST CONCRETE BUMPER BLOCK DETAIL
N.T.S.



NOTE: ALL TRAFFIC REGULATORY SIGNS TO BE MOUNTED A MINIMUM OF 60" FROM BOTTOM OF SIGN TO GRADE.

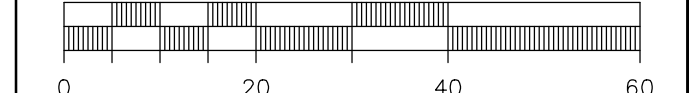


DETAIL OF TYPICAL PAVEMENT MARKINGS
SCALE: 1" = 10'

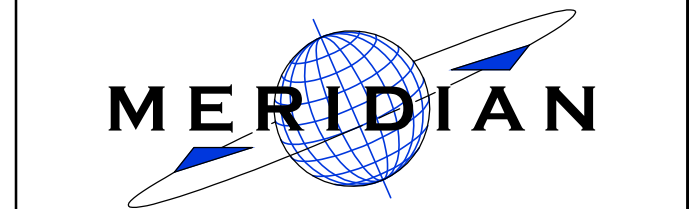
REV.	DESCRIPTION	DATE	BY
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EXISTING CONDITIONS MAP & SITE PLAN

GRAPHIC SCALE 1" = 20'



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257 & 267 CENTRAL AVENUE BLOCK 49, LOTS 18.02 & 18.03

TAX MAP 10
SITUATED IN:
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY

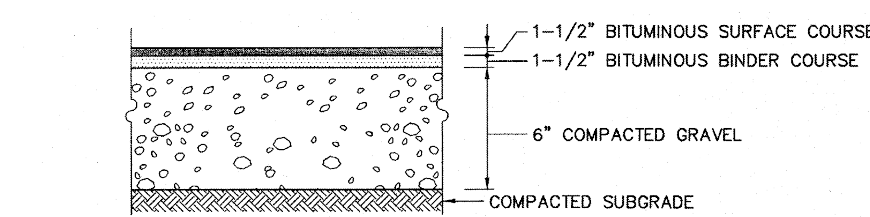
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LESLIE A. WALKER III, PE DATE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24GE04729700

REFERENCES:

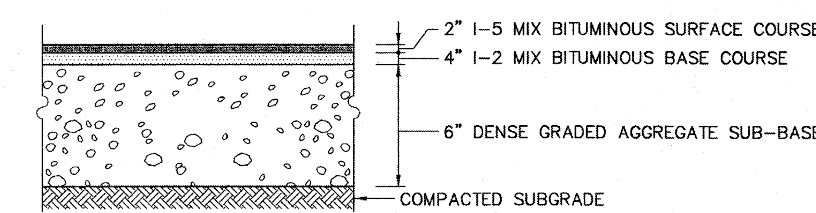
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NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.



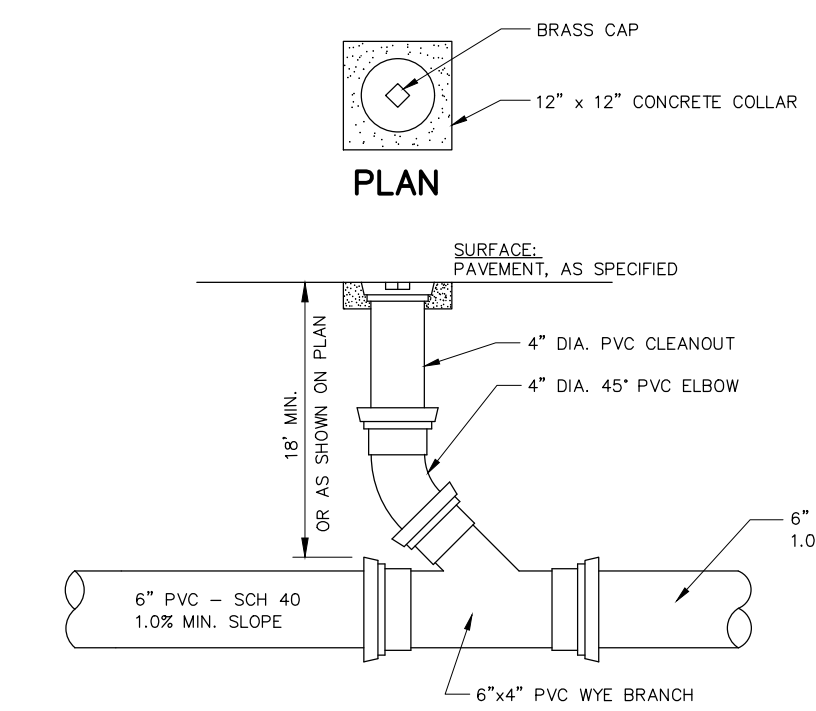
Notes:
1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Section (Driveway)
N.T.S.

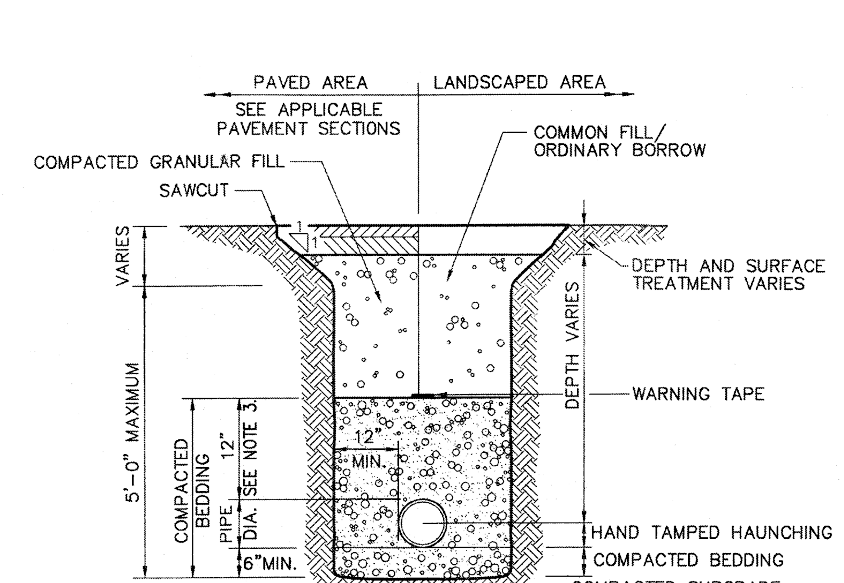


Notes:
1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Section (Repair)
N.T.S.

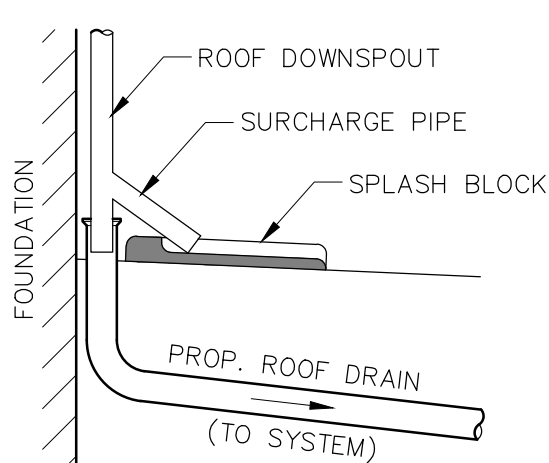


TYPICAL STORM ROOF DRAIN CLEANOUT DETAIL
N.T.S.



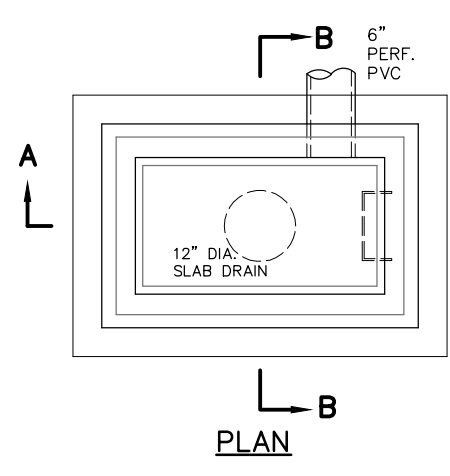
Notes:
1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO SPECIAL SECTION REQUIREMENTS.
2. USE METALLIC WRAPPING WARNING TAPE OVER ALL PIPES.
3. FOR HOPE PIPE, DIMENSION IS 24 INCHES.
4. REPAIR SECTION IN PUBLIC STREET SHALL BE 2 INCHES SURFACE COURSE MIX 1-5, 4 INCHES MIX 1-2, AND 6 INCHES DGA SUB-BASE.

Utility Trench
N.T.S.

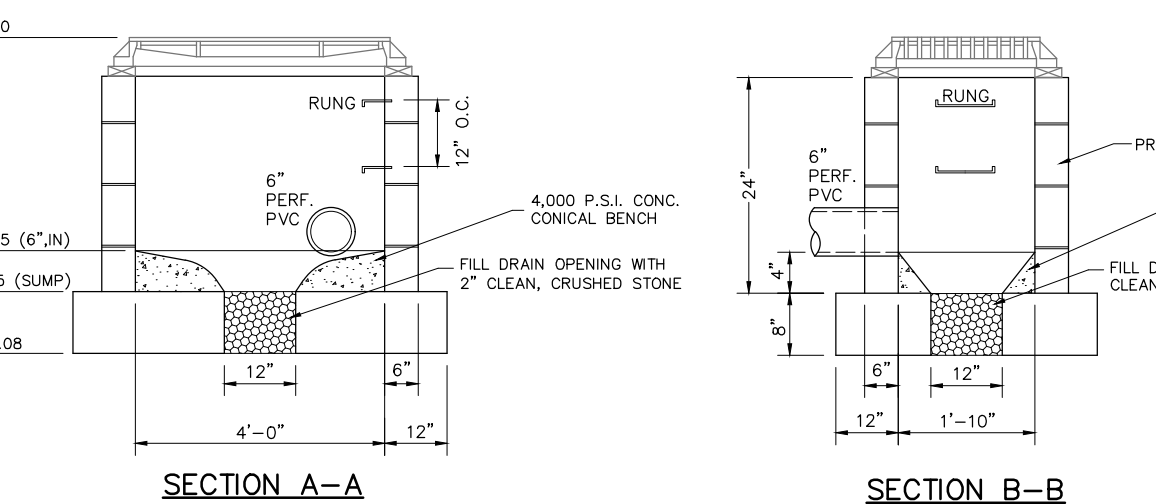


IMPORTANT NOTES:
• A SURCHARGE PIPE MUST BE INSTALLED AT ALL ROOF GUTTER DOWNSPOUT LOCATIONS.
• ALL ROOF GUTTERS SHOULD BE PROTECTED WITH LEAF GUARDS TO HELP PREVENT DEBRIS FROM ENTERING DRYWELL.

DETAIL OF PROPOSED ROOF DRAIN CONNECTION
N.T.S.



NOTE:
1. GRATE TO BE CAMPBELL CASTING PATTERN NO. 3405 \"BICYCLE GRATING\" OR EQUIVALENT.
2. USE PRECAST REINFORCED CONCRETE MATERIAL (AS PER MANUFACTURER) OR BLOCK CONSTRUCTION. ALL BLOCK INLETS SHOULD BE COATED WITH A 1/2\"/>



PROPOSED INLET 'A' DETAIL
N.T.S.

PROPOSED RECHARGE BED CALCULATIONS FOR STORMWATER STORAGE:

TOTAL PROPOSED INFILTRATION AREA = 5,865 SF

RECHARGE BED AVAILABLE VOLUME:
24\"/>

12\"/>

3,224 CF = 2,637 CF

5,831 CF x 0.4 VOID RATIO = 2,332 CF STORAGE PROVIDED

SOIL DATA OBTAINED FROM CUSTOM SOIL RESOURCE REPORT, USDA-NRCS WEBSITE: WEBSOILSURVEY.SCGOV.USDA.GOV

SOIL VARIANT IS UDORTHENTS URBAN LAND SOILS MODERATELY WELL DRAINATED VARIANT (Udwb). ACCORDING TO REPORT, DEPTH TO RESTRICTIVE LAYER IS 3.7 FT AND DEPTH TO WATER TABLE IS 2.3 FT. SURFACE ELEVATION IS 101.0, THEREFORE WATER TABLE DEPTH IS 8.985.

PERMEABILITY OF SOIL PER THE REPORT IS 0.57 TO 1.98 IN/HR. Δ 1.28 IN/HR WITH A SAFETY FACTOR OF 2.

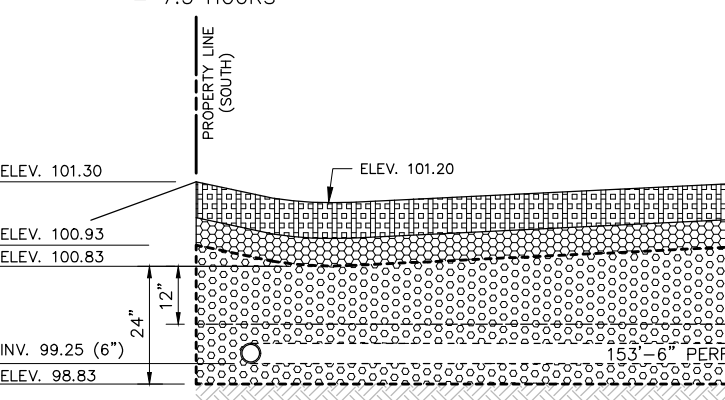
DESIGN FLOW RATE = 0.64 IN/HR.

DRAIN TIME = TOTAL VOLUME / (INFILTRATION AREA x PERM. RATE)

= 2,332 CF / (5,865 SF x 0.64 IN/HR x 0.083 FT/IN)

= 7.5 HOURS

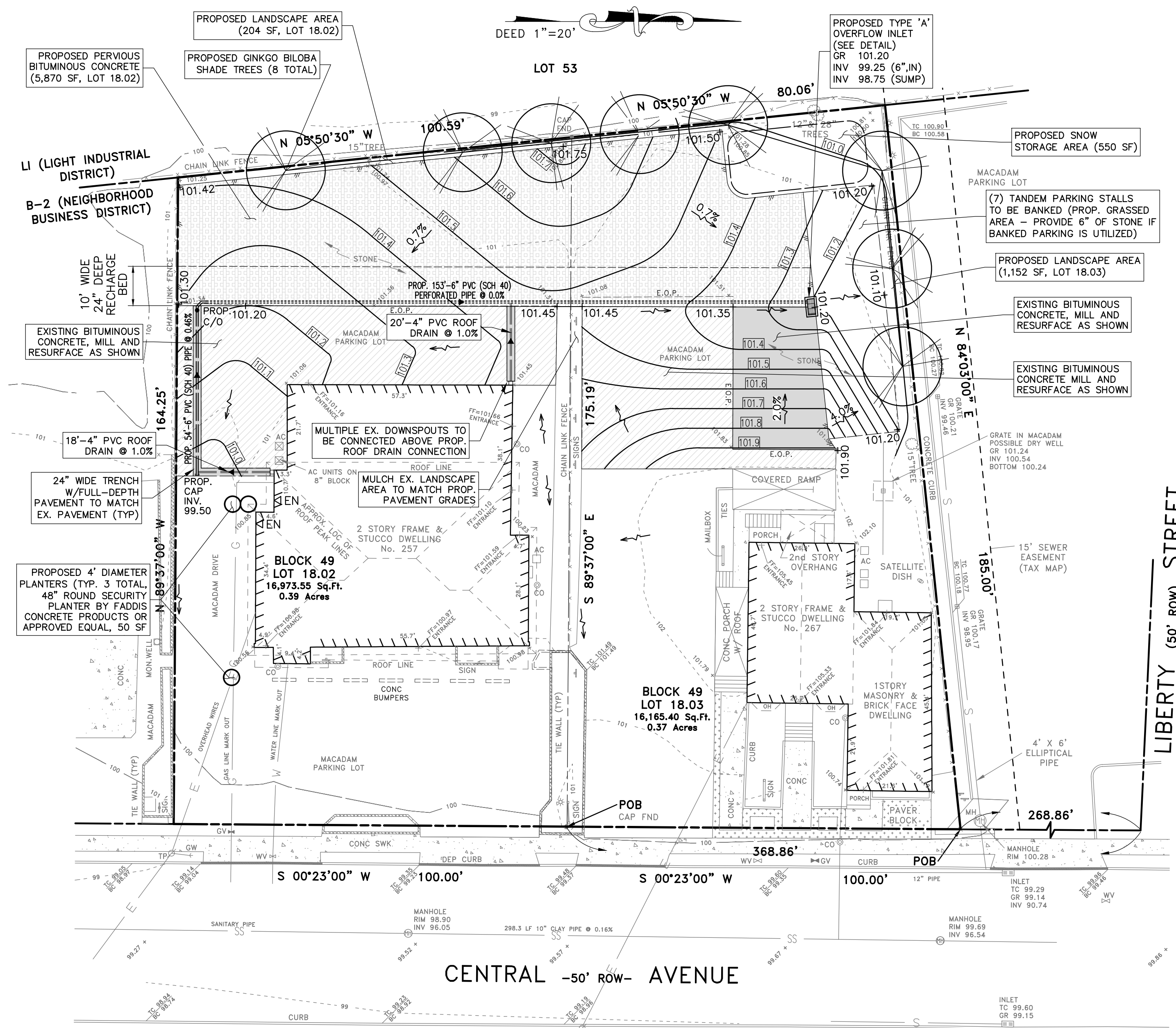
PROPOSED POROUS PAVEMENT AND RECHARGE BED DETAIL



PROPOSED POROUS PAVEMENT AND RECHARGE BED DETAIL
N.T.S.

PLANTING NOTES

- All landscaping plant material are shown in a semi-mature size in this plan set. Sizes indicated in Plant List are sizes at time of installation.
- The staking layout of all retaining walls, walkways, patio and deck surfaces, irrigation lines, and plantings (where applicable) shall be inspected by the Municipal Engineer (or similar agent as applicable) prior to installation. It is the contractor's responsibility to notify the Municipal Engineer (or similar agent as applicable) as to when the work shall begin.
- Plant locations shown on this plan are diagrammatic. The final locations of all plant materials shall be determined and approved by the Municipal Engineer (or similar agent as applicable).
- The quality and size of plants, spread of roots and size of root balls shall be in accordance with ANSI Z60.1-1986, \"American Standard for Nursery Stock\" as published by the American Association of Nurserymen.
- The Contractor shall examine all field conditions for exact locations of utilities, drainage systems and irrigation systems and shall adjust proposed plantings accordingly.
- The Contractor shall notify the Municipal Engineer (or similar agent as applicable) in writing of all soil or drainage conditions which the Contractor considers detrimental to the growth of the plant material.
- GUARANTEE OF PLANT MATERIALS AND GROWTH: All plants and trees shall be guaranteed by the Contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least one year for trees, and a minimum of one growing season for shrubs. Replacements shall be made at the beginning of the first succeeding planting season.
- All plant substitutions are to be verified with the Municipal Engineer (or similar agent as applicable) prior to purchase and installation.
- All trees over six feet in height are to be staked at time of installation. All street trees (as applicable) shall be located minimum of four (4) feet from the sidewalk in the front lawn area, and shall be spaced an average of fifty (50) feet apart unless indicated otherwise in this plan set.
- All landscape areas, either newly created or in existing areas that require repair shall be provided with a 4\"/>



GRADING & LANDSCAPING PLAN

- 0.02 AC PROPOSED FULL-DEPTH PAVEMENT
- 0.09 AC PROPOSED RESURFACED PAVEMENT
- 0.13 AC PROPOSED POROUS PAVEMENT

PLANT LIST



PLANT LIST

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	REMARKS
GB	8	Ginkgo biloba	Maidenhair Tree	2.5\"/>	

REFERENCES:
THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A PLAN ENTITLED, \"TOPOGRAPHIC SURVEY 257 & 267 CENTRAL AVENUE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY, BLOCK 49 LOTS 18.02 & 18.03\", PREPARED BY BRUNSWICK SURVEYING INCORPORATED, PISCATAWAY, N.J., DATED 05/02/2019.

NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

REV. DESCRIPTION DATE BY

GRADING & LANDSCAPING PLAN

GRAPHIC SCALE 1" = 20'

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PRELIMINARY & FINAL MAJOR SITE PLAN
PREPARED FOR:
**257 & 267 CENTRAL AVENUE
BLOCK 49, LOTS 18.02 & 18.03**

TAX MAP 10
SITUATED IN:
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-51 DATE: 02/19/21 SCALE: 1" = 20'
FILE: 046.0051 DRAWN: DSA SHEET 3 OF 4

LESLIE A. WALKER III, PE DATE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 246E04729700

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

(reference: Section 4-1, The Standards for Soil Erosion and Sediment Control in NJ, 7th Edition, January 2014)

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
 - Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
 - Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
 - Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.

- Seeded Preparation**
 - Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil Sample Makers are available from the local Rutgers Cooperative Extension offices (http://njes.rutgers.edu/soils/). Fertilizer shall be applied at a rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
 - Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
 - High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

- Seeding**
 - Select a mixture from Table 4-3 or use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested.

- Seeding Rates**
 - Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.
 - Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85° F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.
 - Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85° F. Many grasses become active at 65° F. See Table 4-3 mixtures 8 to 20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.
- Conventional Seeding** is performed by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cutlacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

- Hydroseeding** is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding (also see Section 4 Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs, there is a reduced seed germination and growth.
- Mulching** is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. Refer to the detail "EXPOSED SOILS STABILIZED WITH MULCH ONLY DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT" for application specifications.
- Irrigation** (where feasible) If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch applied up to a dry until vegetation is well established). This is especially true when seedings are made in abnormally dry or hot weather or on droughty sites.
- Topdressing** Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.

- Establishing Permanent Vegetative Stabilization** The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates in Table 4-3 are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the District. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover of the seeded species and mowed once. Note: this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

(reference: Section 7-1, The Standards for Soil Erosion and Sediment Control in NJ, 7th Edition, January 2014)

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg. 15-1.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
 - Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- Seeded Preparation**
 - Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample makers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone at the minimum rate of 2 tons/acre or, if the soil testing indicates clay, loam and high organic soil, use 3 tons/acre. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
 - Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
 - Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled in accordance with the above.
 - Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.
- Seeding**
 - Select seed from table below.

TEMPORARY SEEDING SPECIFICATIONS (PLANT HARDINESS ZONE 6B):			
COOL SEASON GRASSES			
SEED SELECTIONS	SEEDING RATES	SEEDING DEPTH	OPTIMAL PLANTING PERIODS
1. PERENNIAL RYEGRASS	100 LBS./AC (1.0 LBS./1,000 SF)	0.5" (1" IN SANDY SOILS)	MARCH 1 TO MAY 15 & AUGUST 15 TO OCTOBER 1
2. SPRING OATS	86 LBS./AC (2.0 LBS./1,000 SF)	1.0" (2" IN SANDY SOILS)	MARCH 1 TO MAY 15 & AUGUST 15 TO OCTOBER 1
3. WINTER BARLEY	96 LBS./AC (2.2 LBS./1,000 SF)	1.0" (2" IN SANDY SOILS)	AUGUST 15 TO OCTOBER 1
4. ANNUAL RYEGRASS	100 LBS./AC (1.0 LBS./1,000 SF)	0.5" (1" IN SANDY SOILS)	MARCH 15 TO JUNE 1 & AUGUST 1 TO SEPTEMBER 15
5. WINTER CEREAL RYE	112 LBS./AC (2.8 LBS./1,000 SF)	1.0" (2" IN SANDY SOILS)	AUGUST 1 TO NOVEMBER 15
WARM SEASON GRASSES			
SEED SELECTIONS	SEEDING RATES	SEEDING DEPTH	OPTIMAL PLANTING PERIODS
6. PEARL MILLET	20 LBS./AC (0.5 LBS./1,000 SF)	1.0" (2" IN SANDY SOILS)	MAY 15 TO AUGUST 15
7. MILLET (BERNARD OR HUNGARY)	30 LBS./AC (0.7 LBS./1,000 SF)	1.0" (2" IN SANDY SOILS)	MAY 15 TO AUGUST 15

- Seeding rate for warm season grass, selections 5 - 7 shall be adjusted to reflect the amount of Pure Live Seed (PLS) as determined by a germination test result. No adjustment is required for cool season grasses.
- May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Plant Hardiness Zone: (see figure 7-1, pg. 7-4)
- Conventional Seeding**. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cutlacked seedings, seed shall be incorporated into the soil to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- Hydroseeding** is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.
- Mulching** is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. Refer to the detail "EXPOSED SOILS STABILIZED WITH MULCH ONLY DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT" for application specifications.

PERMANENT STABILIZATION SEED MIXTURES (FROM TABLE 4-3, SSES0N)

- SITE CONDITIONS:
- COMMERCIAL USE
 - SITE CONSISTS OF MOSTLY URBAN/THURNTS URBAN LAND COMPLEX
 - SOMEWHAT WELL DRAINED SOILS
 - USDA PLANT HARDINESS ZONE 6A
- NOTES:
- SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE OF THE SEEDED AREA AND MOWED ONCE. GRASS SEED MIXTURE CHECKED AND ANALYZED BY THE NEW JERSEY DEPARTMENT OF AGRICULTURE, TREASURY, NEW JERSEY, WILL ASSURE THE PROPAGATOR THAT THE MIXTURE OBTAINED IS THE MIXTURE ORDERED, PURSUANT TO THE N.J. STATE SEED LAW, N.J.S.A. 4:8-17.13 ET. SEQ.
- MAINTENANCE LEVELS:
- A - INTENSIVE MAINTENANCE (2-4 DAYS), FERTILIZATION, LIME, PEST CONTROL AND IRRIGATION
 - B - FREQUENT MAINTENANCE (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL
 - C - PERIODIC MAINTENANCE (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME
 - D - INFREQUENT OR NO MAINTENANCE, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT

PERMANENT SEEDING SPECIFICATIONS:	
MIXTURE 16 (FOR LAWN AREAS)	PLANTING RATES
SEED MIXTURE	90 LBS./AC (2.0 LBS./1,000 SF)
ROUGH BLUEGRASS	130 LBS./AC (3.0 LBS./1,000 SF)
STRONG CREEPING RED FESCUE	ACCEPTABLE PLANTING PERIODS
AUGUST 15 TO OCTOBER 15	MARCH 1 TO APRIL 30 OR MAY 1 TO AUGUST 14* (SEE REMARKS)
MAINTENANCE LEVEL: (C-0)	REMARKS: TYPICALLY A COOL SEASON MIXTURE, INTENDED FOR GENERAL LAWN/RECREATION AREAS. PREFERABLY MOST SHADE. FOR SUMMER SEEDINGS, SITE MUST BE IRRIGATED.
MIXTURE NO MOW/LOW GROW STEEP SLOPE MIX	PLANTING RATES
SEED MIXTURE	120 LBS./AC (2.8 LBS./1,000 SF)
SPARTAN #1 HARD FESCUE	100 LBS./AC (2.0 LBS./1,000 SF)
AZAY SHEEP FESCUE	100 LBS./AC (2.0 LBS./1,000 SF)
TRANSIT INTERMEDIATE RYEGRASS	40 LBS./AC (0.4 LBS./1,000 SF)
OPTIMAL PLANTING PERIODS:	ACCEPTABLE PLANTING PERIODS:
AUGUST 15 TO OCTOBER 15	MARCH 15 TO JUNE 1
MAINTENANCE LEVEL: (D)	REMARKS: TYPICALLY A COOL SEASON MIXTURE, INTENDED FOR REMOTE LAWN AREAS/STEEP SLOPES. LOW TO NO MAINTENANCE.

SOIL EROSION AND SEDIMENT CONTROL NOTES
(reference: Freehold Soil Conservation District, http://www.freeholdscd.org)

- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
- All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- N.J.S.A. 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the State Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
- Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of permanent cover, the disturbed areas will be mulched with straw or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
- A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas in areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
- All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
- Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be used.
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

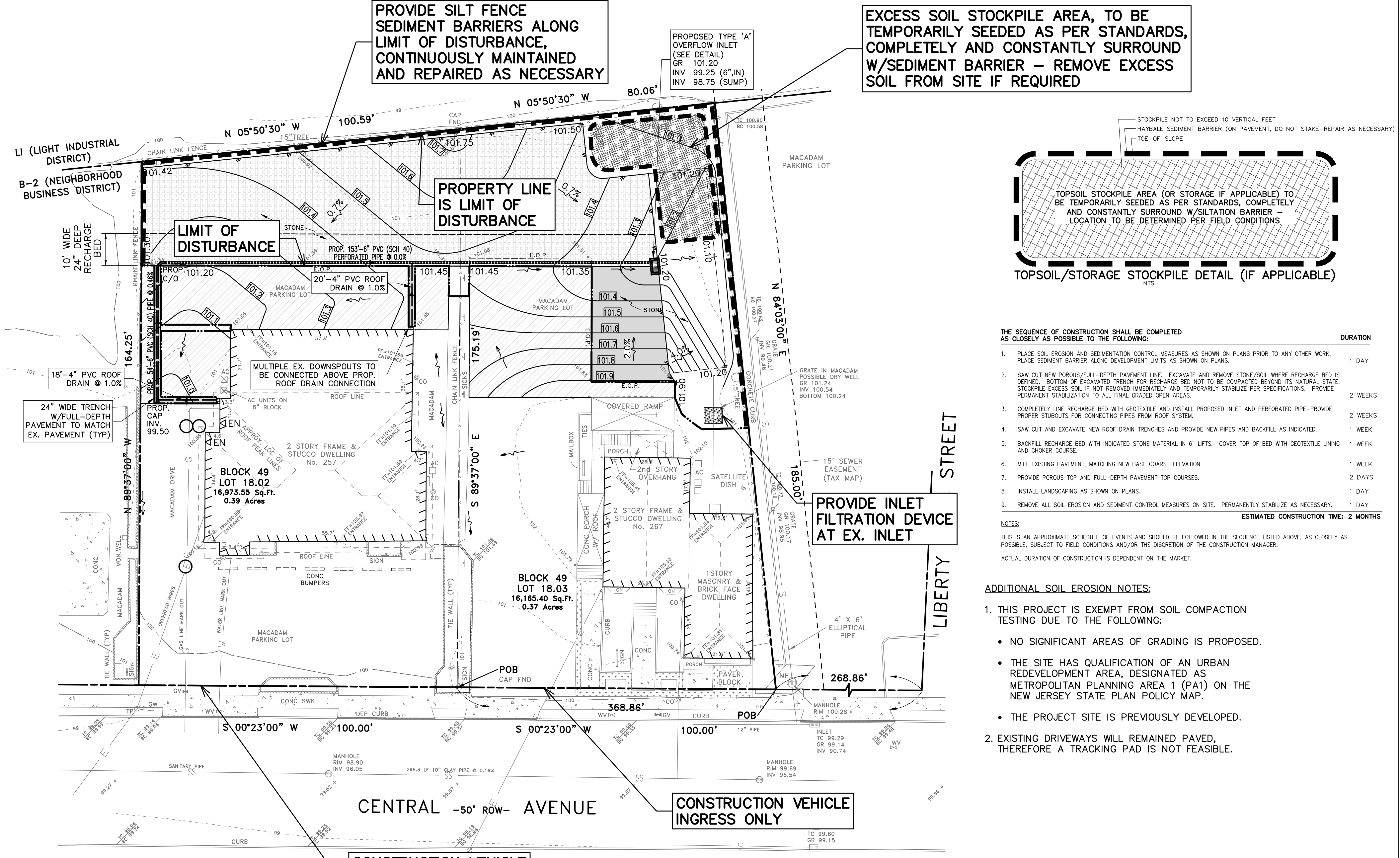
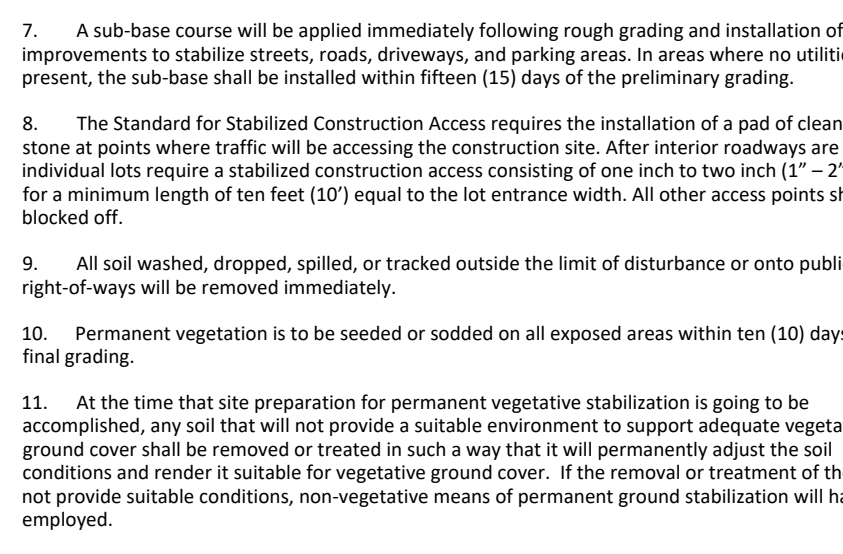
EXPOSED SOILS STABILIZED WITH MULCH ONLY DURING NON-GROWING SEASON & FOR FASTER ESTABLISHMENT

USE UNROTTED SMALL GRAIN STRAW OR SALT HAY.

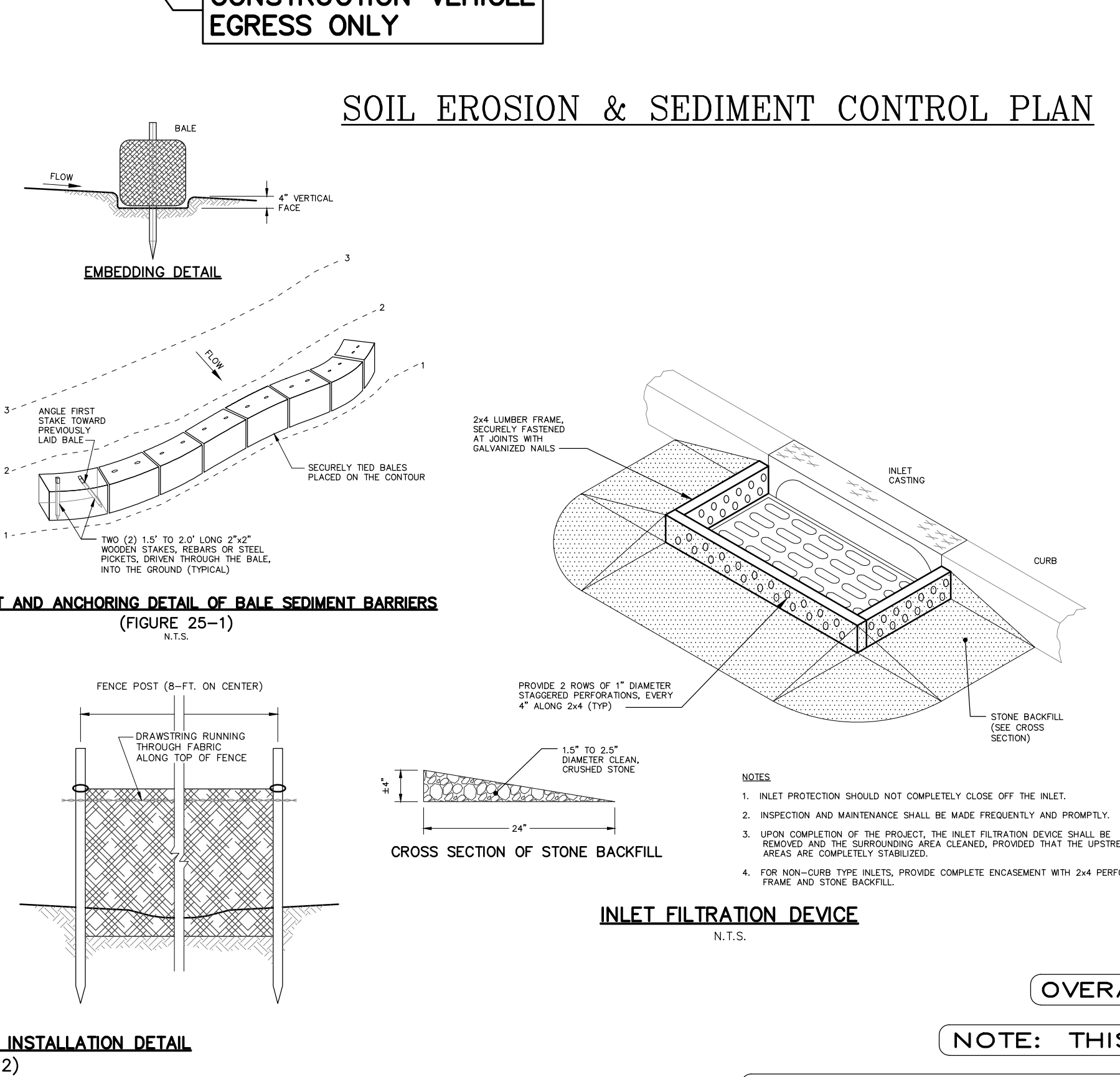
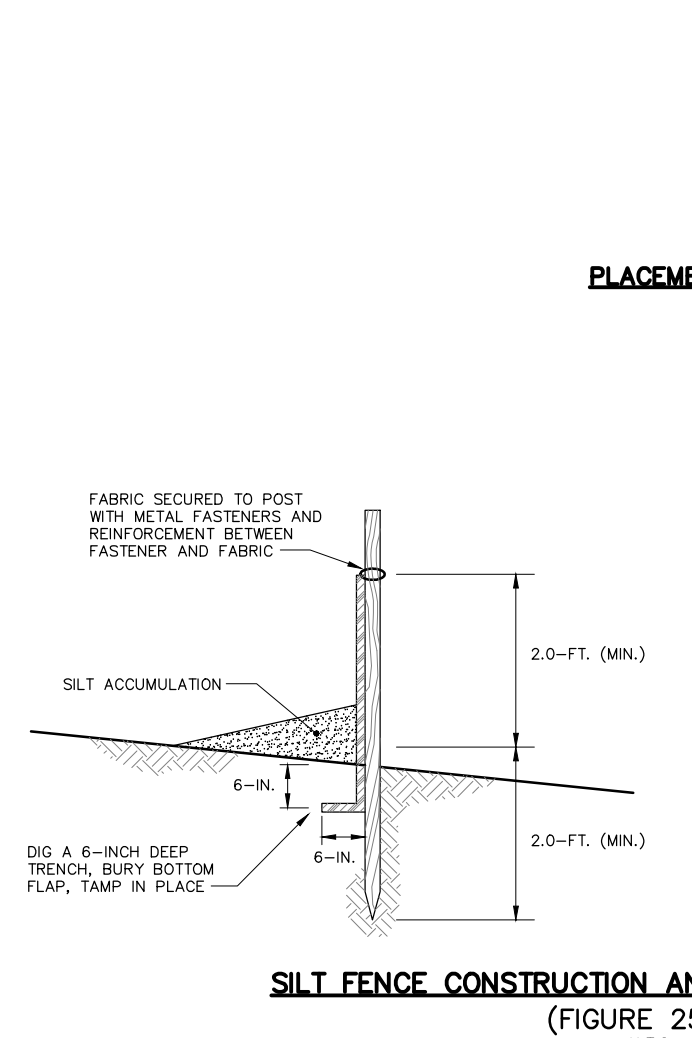
AT A RATE OF:
FOR TEMPORARY STABILIZATION - 2.0 TO 2.5 TONS/ACRE (90 TO 115 LBS./1,000 SF)
FOR PERMANENT STABILIZATION - 1.5 TO 2.0 TONS/ACRE (70 TO 90 LBS./1,000 SF)

ANCHOR USING THE FOLLOWING METHOD:
DRIVE 8 TO 10 INCH WOODEN PEGS 2 TO 3 INCHES INTO THE SOIL EVERY 4 FEET IN ALL DIRECTIONS. THEN, KEEPING THE TWINE TAUNT, WRAP EACH PEG TO THE NEXT PEG, CREATING A CROSSHATCH PATTERN. DOUBLE OR TRIPLE WRAP EACH PEG AS TO SECURE THE TWINE. REFER TO DETAIL BELOW.

OTHER SUITABLE MATERIALS AND ANCHORING METHODS MAY BE USED, BUT ONLY AT THE DIRECTION AND APPROVAL OF THE SOIL CONSERVATION DISTRICT.



IMPORTANT NOTE:
CONTAIN ALL DEBRIS AND SEDIMENT WITHIN THE LIMIT OF DISTURBANCE. ANY SEDIMENT TRACKED OUT OF THE LIMIT OF DISTURBANCE SHALL BE CLEANED UP IMMEDIATELY AND KEPT FROM LEAVING THE SITE VIA INGRESS OR STORM SEWER.



SOIL EROSION & SEDIMENT CONTROL PLAN

GRAPHIC SCALE 1" = 20'

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PRELIMINARY & FINAL MAJOR SITE PLAN
PREPARED FOR:
**257 & 267 CENTRAL AVENUE
BLOCK 49, LOTS 18.02 & 18.03**

TAX MAP 10
SITUATED IN:
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-51 DATE: 02/19/21 SCALE: 1" = 20'
FILE: 046.0051 DRAWN: DSA SHEET 4 OF 4

OVERALL DISTURBANCE AREA = ±0.23 ACRES

NOTE: THIS PROJECT IS LOCATED IN "ZONE 6B"

SOIL EROSION AND SEDIMENT CONTROL PLAN SHEET 1 OF 1

LESLIE A. WALKER III, PE DATE 02/19/21
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24G64729700