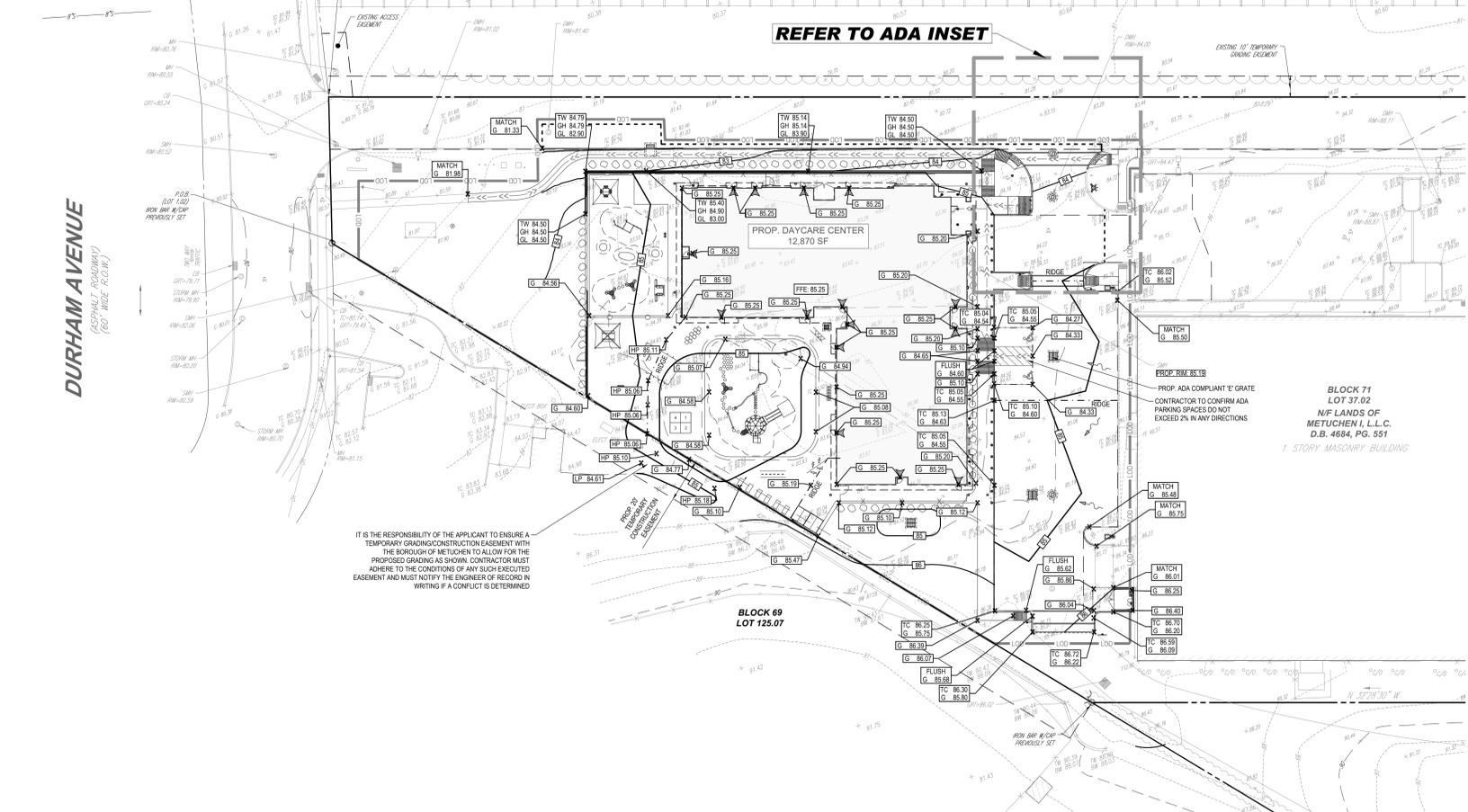




LEHIGH VALLEY RAILROAD CO.



REFER TO ADA INSET

**BLOCK 71
LOT 37.02**
NET LANDS OF
METCHEN I, L.L.C.
D.B. 4684, PG. 551
1 STORY MASONRY BUILDING

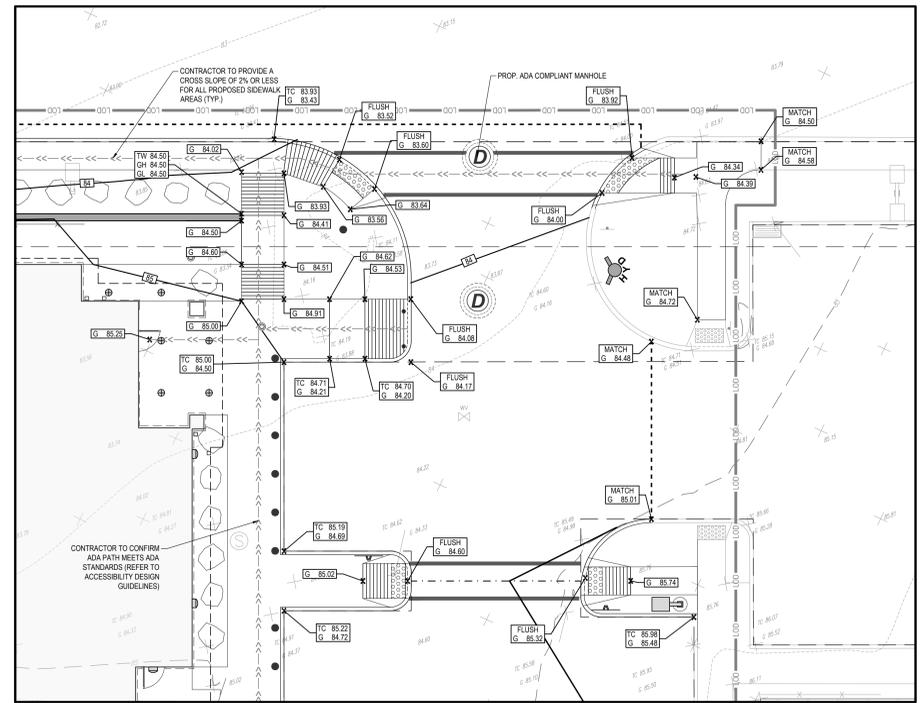
IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE A TEMPORARY GRADING CONSTRUCTION EASEMENT WITH THE BOROUGH OF METUCHEN TO ALLOW FOR THE PROPOSED GRADING AS SHOWN. CONTRACTOR MUST ADHERE TO THE CONDITIONS OF ANY SUCH EXECUTED EASEMENT AND MUST NOTIFY THE ENGINEER OF RECORD IN WRITING IF A CONFLICT IS DETERMINED.

GRADING NOTES

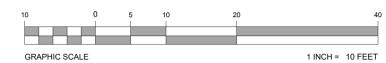
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SET FORTH IN THIS GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST OBTAIN APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD INVESTIGATION BE IDENTIFIED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOSTURE CONTENT AT THE TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT OBJECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THEREOF.
- IN THE EVENT OF A DISCREPANCY(IES) AND/OR CONFLICT(S) BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE GRADING PLANS TAKE PRECEDENCE AND CONTROL. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S).
- THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY MATERIAL AND UNDERGO NECESSARY IMPROVEMENTS TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALIZED AND INTENDED TO BE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER OF RECORD APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLING CURBING.
- THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES; 1.5% ON ASPHALT SURFACES; 2% IN LANDSCAPED AREAS; AND A 2% POSITIVE SLOPE AGAINST ALL BLENDED CURBS. POSITIVE SLOPES MUST BE MAINTAINED WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL ELEVATIONS (TOP & BOTTOM) REPRESENT THE PROPOSED GRADE OF THE FACE OF WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE GAP UNIT OR FOOTING) WALL.
- FOOTING/FOUNDATION ELEVATIONS ARE GENERALIZED AND INTENDED TO BE APPROXIMATE. THE CONTRACTOR MUST ENSURE THAT LICENSED STRUCTURAL ENGINEER DESIGNS ALL WALLS SHOWN HEREON AND THAT PRIOR TO CONSTRUCTION, THE MUNICIPALITY APPROVES ALL WALLS. THE CONTRACTOR MUST ENSURE THAT FENCING, GUIDELINE UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED SCHEMATICALLY IN THESE PLANS, ARE MATERIALLY CONSIDERING THE RETAINING WALL DESIGN (BY OTHERS).
- THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES INSTALLED ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.

ACCESSIBILITY DESIGN GUIDELINES

- ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE 42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 11911 ET SEQ.; AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
- THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
- THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, RESIDENTIAL, AND INTER-BUILDING CONNECTIONS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ACCESSIBLE PARKING SPACES AND ACCESSIBLE SLOPES MUST NOT EXCEED 1:50 (2%) IN ANY DIRECTION.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTES MUST PROVIDE A 36-INCH MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY UNLESS OTHERWISE NOTED. TRAVEL CLEAR OVERHANGS AND/OR HANDRAILS MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2%) IN CROSS-SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 120 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 12 INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
 - ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30 INCHES. LEVEL LANDINGS MUST BE PROVIDED FOR EACH AND ALL ACCESSIBLE RAMPS. LANDING MUST PROVIDE PROPER DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDINGS OF 60 INCHES BY 60 INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6 INCHES.
 - ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) WHERE FLARED SIDES ARE PROVIDED; THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDINGS MUST BE PROVIDED AT RAMP TOP AT A MINIMUM OF 36 INCHES LONG (48 INCHES PREFERRED) BY 48 INCHES, WHEN THERE IS NO LANDING AT THE TOP, FLARED SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
 - DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS, (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
 - WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN SOME CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
 - THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-COMFORMING CONCRETE AND/OR PAVEMENT SURFACES.
- IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.
- ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7, BARRIER-FREE ACCESS.



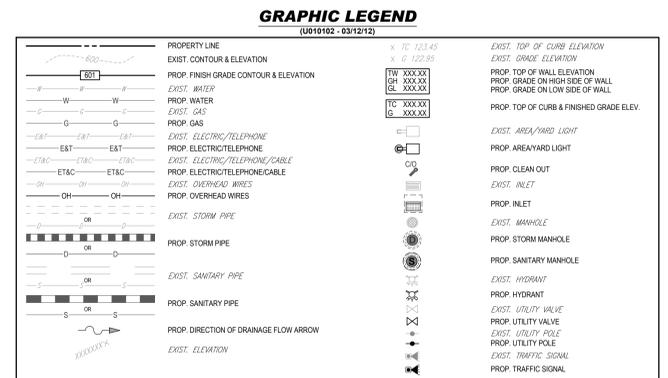
ADA INSET



THE DESIGN OF THE PROPOSED RETAINING WALL ADJACENT TO THE PROPOSED DAYCARE FACILITY MUST BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER WHO IS LICENSED IN THE STATE OF NEW JERSEY. SHOP DRAWINGS OF THE PROPOSED WALL DESIGN MUST BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

REFER TO SITE LAYOUT PLAN FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY



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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	11/19/2021	REV. PER CLIENT COMMENTS	MB	MLAT
2	12/23/2021	REV. PER BOROUGH COMMENTS	MB	MLAT

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PROJECT NO.: JM190716
DRAWN BY: MB
CHECKED BY: MLAT
DATE: 11/08/2021
CAD I.D.: JM160716-GDU-2A

PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
MAVEN GROUP
215 DURHAM AVENUE
BLOCK 71; LOTS 37.01 & 37.02
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY
OAKITE SITE
REDEVELOPMENT;
TAX MAP SHEET #17

BOHLER
BOHLER ENGINEERING, N.L.L.C.
10000 MIDLANDT DRIVE, SUITE 410W
MOUNT LAUREL, NJ 08054
PHONE: (856) 930-4000
FAX: (856) 930-4001
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SHEET TITLE:

GRADING PLAN

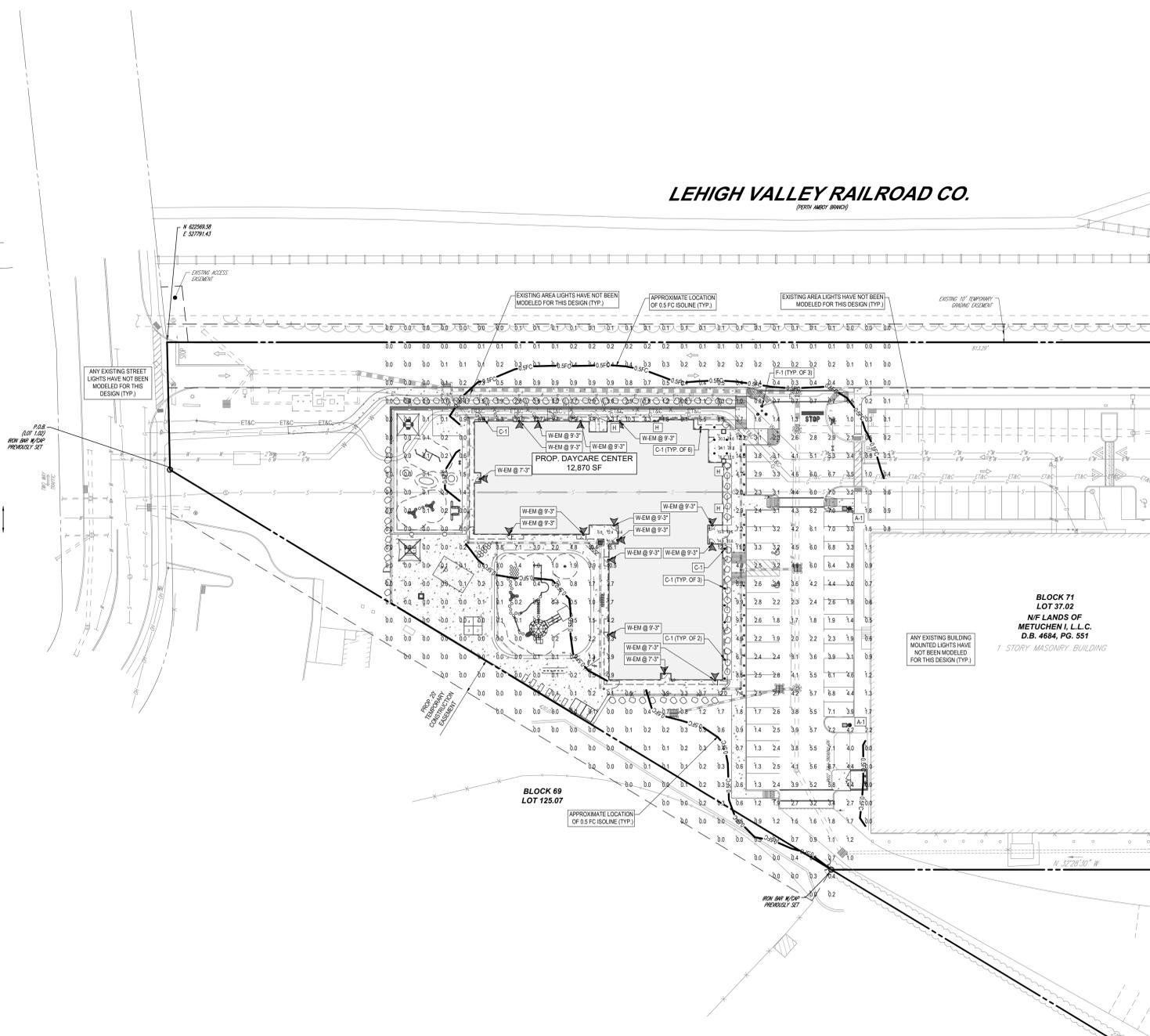
SHEET NUMBER:
C-401

REVISION 2 - 12/23/2021

C:\2016\JM190716\BOHLENGR\DWG\SS\SITE PLAN PACKAGE\JM190716-GDU-2A - LAYOUT-C-401.GRD



DURHAM AVENUE
(ASPHALT ROADWAY)
(60' WIDE R.C.D.W.)



LEHIGH VALLEY RAILROAD CO.

(FROM ARBY BRANCH)

BLOCK 71
LOT 37.02
NF LANDS OF
METUCHEN I, L.L.C.
D.B. 4684, PG. 551
1 STORY MASONRY BUILDING

- #### LIGHTING NOTES
- (Rev. 1/2020)
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
 - THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACT REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
 - THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL BUSINESS SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
 - THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
 - THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNERS ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES REVERTS SOLELY THE OWNERS.
 - THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TRING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
 - THE CONTRACTOR MUST BRING IMMEDIATELY IN WRITING ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES) TO THE ENGINEER OF RECORDS ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
 - THE ACTUAL LIGHT LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
 - ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
 - ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AG32 BY LIGHTING ANALYST.

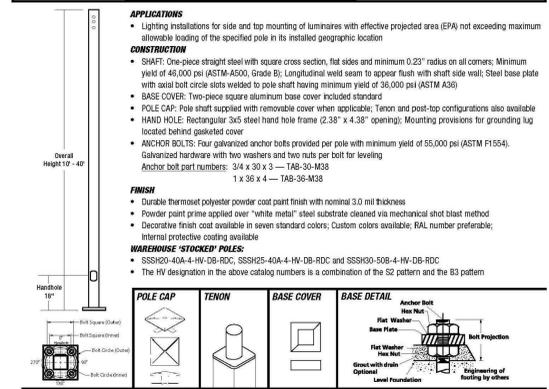
BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/19/2021	REV. PER CLIENT COMMENTS	MB
2	12/23/2021	REV. PER BOROUGH COMMENTS	MLAT

SSS-H SERIES POLES
SQUARE STRAIGHT STEEL

Hubbell Outdoor Lighting logo



ORDERING INFORMATION

Reference page 2 for available configurations

ORDERING EXAMPLE: SSS-H 25 - 40 - A/B/C - 2L - S2 - DBT - UL

SSS-H	HEIGHT	SHAFT	THICKNESS	FINISH	ANCHOR BOLT	OPTIONS
SSS-H	25	40	A/B/C	2L	S2	DBT - UL

CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/
MANUFACTURER
LIGHT POLE COLOR TO MATCH FIXTURE: BRONZE

LIGHT POLE SPECIFICATION
NOT TO SCALE

CALCULATION SUMMARY

LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.
PARKING AREA - DAYCARE	FC	3.61	7.1	0.7	5.16	10.14
WALKWAYS - DAYCARE	FC	4.29	12.0	0.7	6.13	17.14

MUNICIPAL REQUIREMENTS

PER SECTION: 110-130: E. DECORATIVE LAMPPOSTS.

LOCATION	REQUIRED	PROPOSED
EXTERIOR OF A SITE WITH GREATER THAN 100 FEET OF STREET FRONTAGE SHALL PROVIDE DECORATIVE LAMPPOSTS	STREET FRONTAGE >100'	STREET FRONTAGE >60 FT (NOT APPLICABLE)

PER SECTION: 110-157: DESIGN STANDARDS

LOCATION	REQUIRED	PROPOSED
MAXIMUM MOUNTING HEIGHT	20' OR HEIGHT OF THE BUILDING (WHICHEVER IS LESS)	20' (COMPLIES)
AVERAGE MAINTAINED HORIZONTAL ILLUMINATION FOR DRIVEWAYS AND PARKING AREAS (RESIDENTIAL USE)	0.9 FC	3.61 - 4.18 FC (COMPLIES)
AVERAGE MAINTAINED HORIZONTAL ILLUMINATION FOR WALKWAYS AND ALL OTHER AREAS (RESIDENTIAL USE)	0.9 FC	2.56 - 4.29 FC (COMPLIES)

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
☐	2	A-1	20'	HUBBELL OUTDOOR LIGHTING RATIO RAR2 SERIES LED AREA LIGHT	SINGLE	31,844	0.900	4000K	RAR2-48L-240-4KT-4W-XXX-XXX-ASQ-DBS	RAR2-48L-240-4KT-4W-XXX-XXX-ASQ-DBS
●	13	C-1	12'	PHILIPS LIGHTOLIER P DOWNLIGHT (REFER TO ARCHITECTURAL DRAWINGS)	SINGLE	2,000	0.900	4000K	ZARDL20830W5QH4210U.IES	ZARDL20830W5QH4210U.IES
●	4	H	8'-8"	VISA LIGHTING OW1333 - AVATAR SERIES LED WALL MOUNTED LIGHT (REFER TO ARCHITECTURAL DRAWINGS)	SINGLE	1,700	0.900	4000K	OW1333-L35K-H.IES	OW1333-L35K-H.IES
●	15	W-EM	VARIABLES SEE PLAN	LEOTEK ESETA (ES1) SERIES LED WALL SCONCE (REFER TO ARCHITECTURAL DRAWINGS)	SINGLE	3,301	0.900	4000K	IES ES1-240-MV-WW-W-XX-350-00110.IES	IES ES1-240-MV-WW-W-XX-350-00110.IES
●	3	F-1	GROUND LEVEL	ECOSENSE RISE LED FLAG POLE LIGHT	SINGLE	1,120	N/A	4000K	N/A	F08-1S-HO-40-8-40-K-X

NOTES: 1. ANY EXISTING AREA, STREET OR BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
2. ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE BEEN MODELED FOR REFERENCE PURPOSES ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR ORDERING INFORMATION AND FIXTURE SPECIFICS.



REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL

GRAPHIC SCALE: 1 INCH = 30 FEET

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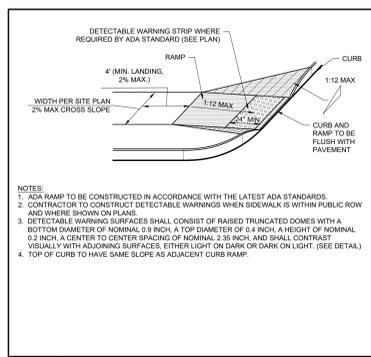
PROJECT NO.: JM160715
DRAWN BY: MB
CHECKED BY: MLAT
DATE: 11/06/2021
CAD LID: JM160715-L07-2A

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
MAVEN GROUP
215 DURHAM AVENUE
BLOCK 71, LOTS 37.01 & 37.02
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY
OAKITE SITE
REDEVELOPMENT;
TAX MAP SHEET #17

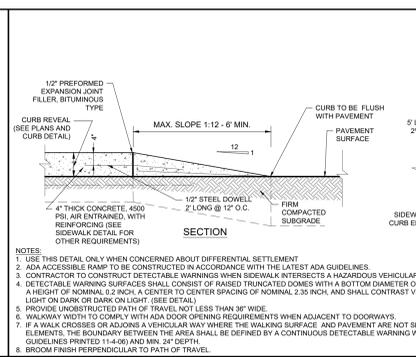
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MOUNT LAUREL, NJ 08054
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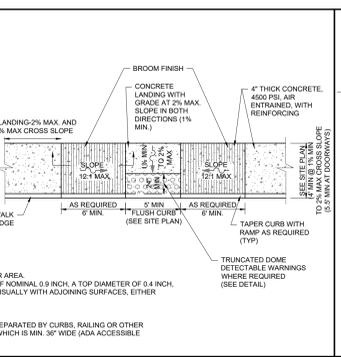
SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
C-703
REVISION 2 - 12/23/2021



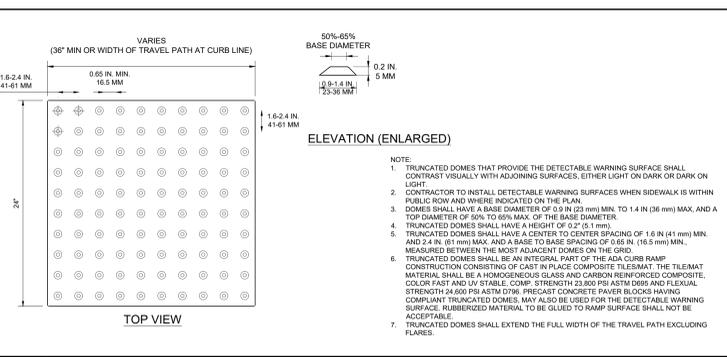
ADA CURB RAMP DETAIL
NOT TO SCALE (S070101-01/2013)



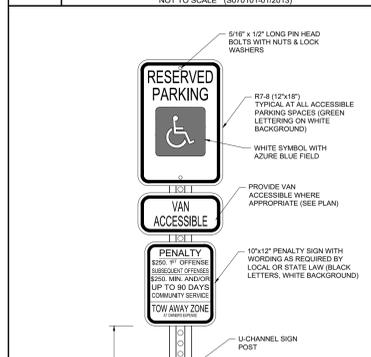
ADA RAMP IN SIDEWALK WITH BROOM FINISH WITH DOWELS DETAIL
NOT TO SCALE (S070102-01-01/2013)



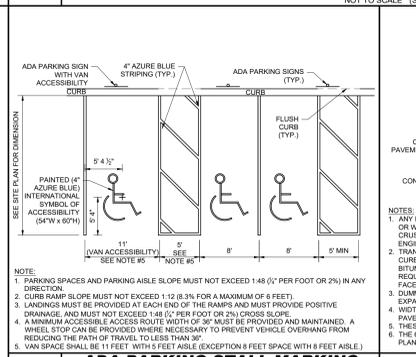
TRUNCATED DOME PATTERN DETAIL
NOT TO SCALE (S070117-01/2013)



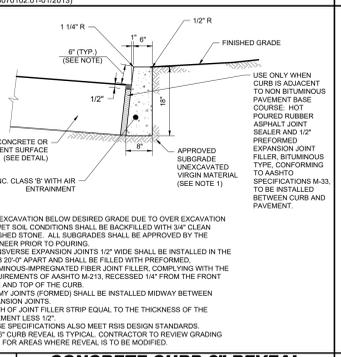
RETAINING WALL SCHEMATIC DETAIL
NOT TO SCALE (S130205 - 02/016)



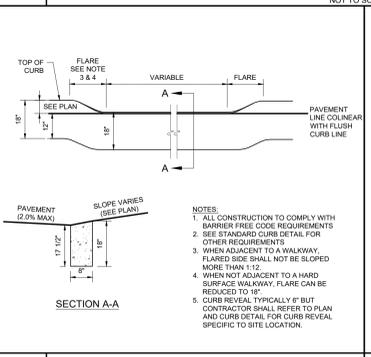
ADA PARKING SIGN WITH VAN ACCESSIBLE SIGN
NOT TO SCALE (S070203 - 11/2016)



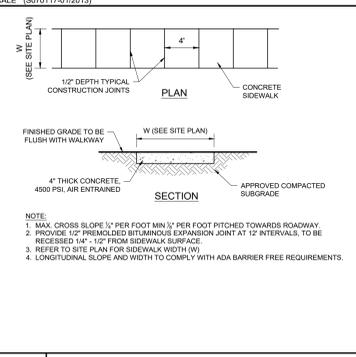
ADA PARKING STALL MARKING DETAIL
NOT TO SCALE (S070304-01/2013)



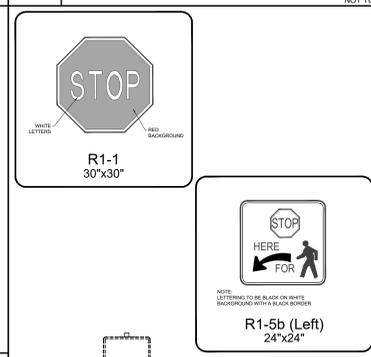
CONCRETE CURB 6" REVEAL DETAIL
NOT TO SCALE (S030202-01/2013)



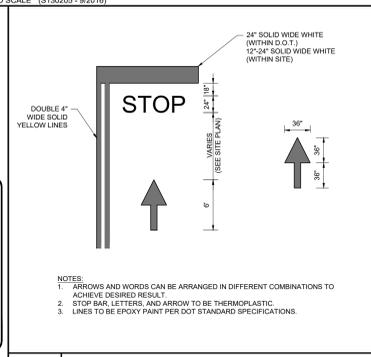
ADA FLUSH CURB DETAIL
NOT TO SCALE (S038904-01/2013)



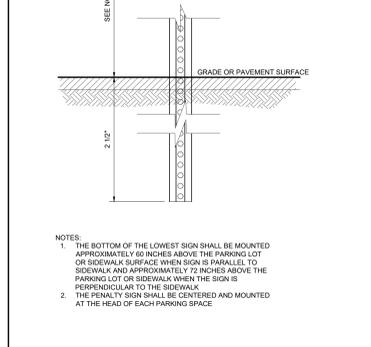
CONCRETE SIDEWALK DETAIL
NOT TO SCALE (S080105-01/2013)



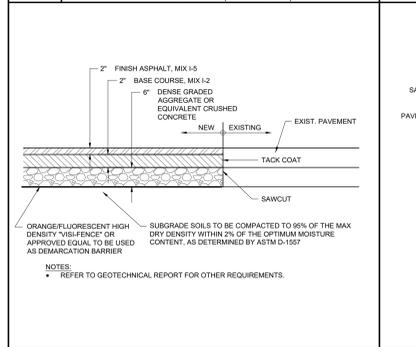
PAINTED MARKING DETAILS
NOT TO SCALE (S080501-01/2013)



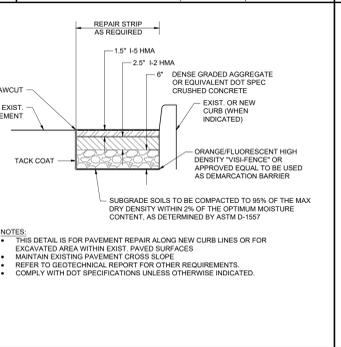
CONCRETE MAT 6" THICK WITH REBAR DETAIL
NOT TO SCALE (S029604 - 9/2016)



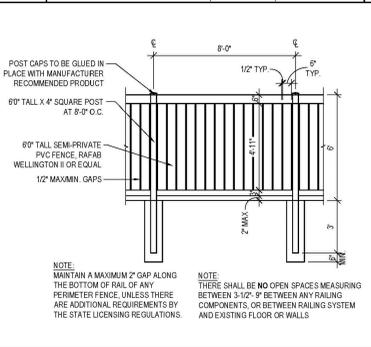
STANDARD PAVING DETAIL
NOT TO SCALE (S080102-01/2013)



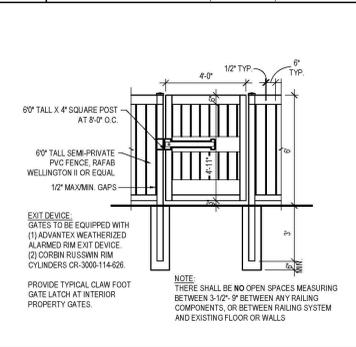
PAVEMENT REPAIR DETAIL
NOT TO SCALE (S080402-07/2016)



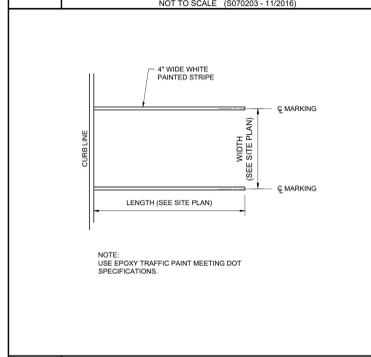
SEMI-PRIVATE VINYL FENCE & GATE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



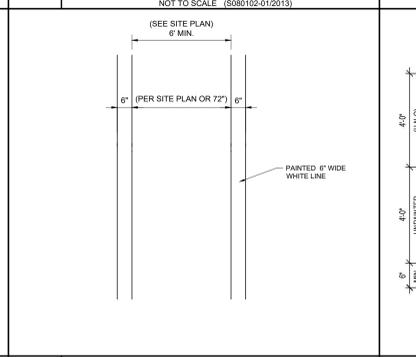
BREAKAWAY SIGN POST DETAIL
NOT TO SCALE (S100202-01-01/2013)



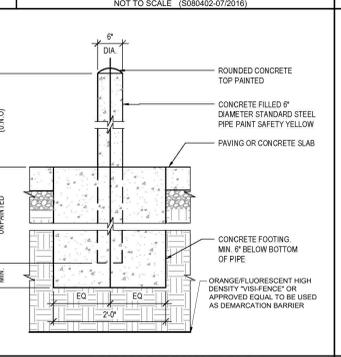
CONCRETE MAT 6" THICK WITH REBAR DETAIL
NOT TO SCALE (S029604 - 9/2016)



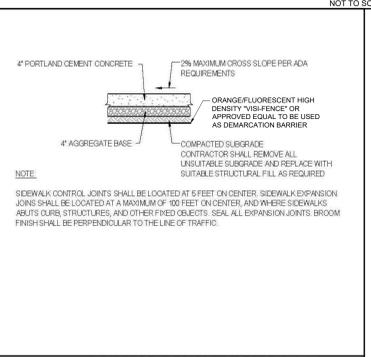
ADA PARKING SIGN WITH VAN ACCESSIBLE SIGN
NOT TO SCALE (S070203 - 11/2016)



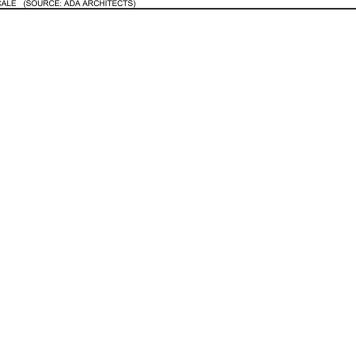
STANDARD PAVING DETAIL
NOT TO SCALE (S080102-01/2013)



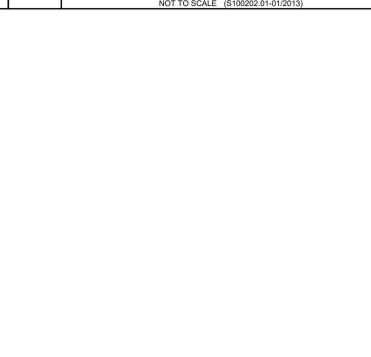
PAVEMENT REPAIR DETAIL
NOT TO SCALE (S080402-07/2016)



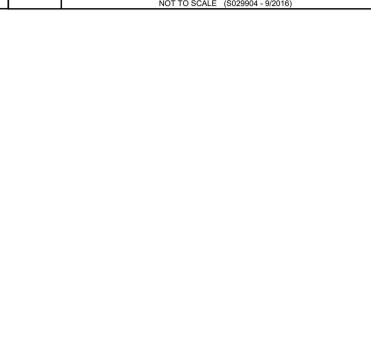
SEMI-PRIVATE VINYL FENCE & GATE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



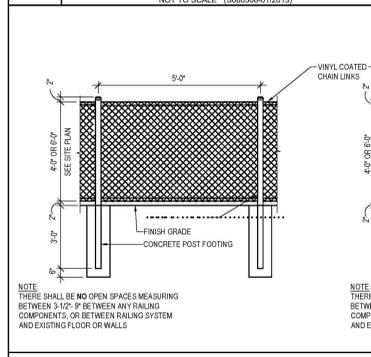
BREAKAWAY SIGN POST DETAIL
NOT TO SCALE (S100202-01-01/2013)



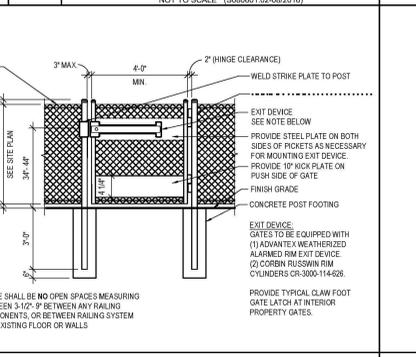
CONCRETE MAT 6" THICK WITH REBAR DETAIL
NOT TO SCALE (S029604 - 9/2016)



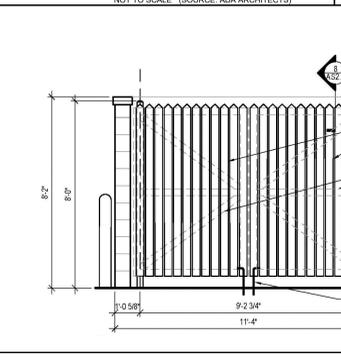
CONCRETE MAT 6" THICK WITH REBAR DETAIL
NOT TO SCALE (S029604 - 9/2016)



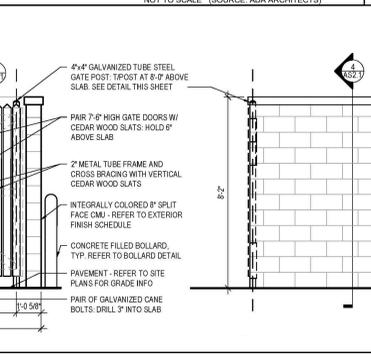
CHAIN-LINK FENCE & GATE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



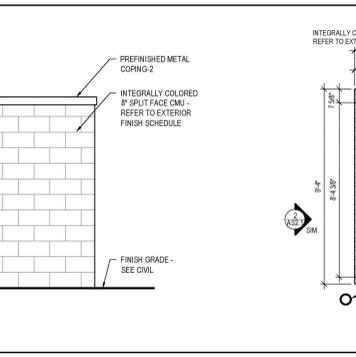
PAINTED CROSSWALK DETAIL
NOT TO SCALE (S080601 02-08/2016)



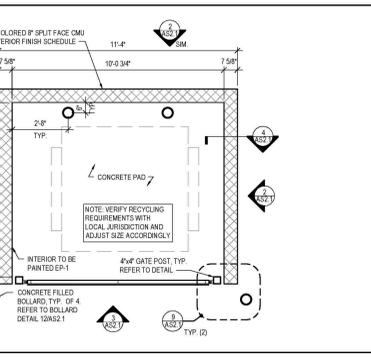
PLAYGROUND PIPE BOLLARD DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



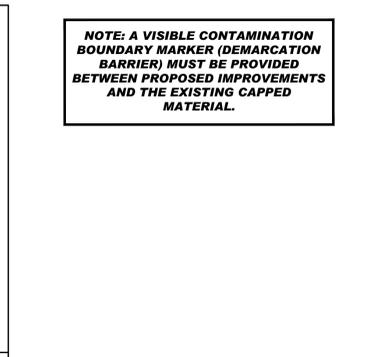
PLAYGROUND CONCRETE SIDEWALK DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



DAYCARE TRASH ENCLOSURE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



CHAIN-LINK FENCE & GATE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)



DAYCARE TRASH ENCLOSURE DETAIL
NOT TO SCALE (SOURCE: ADA ARCHITECTS)

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REVISIONS				
REV	DATE	COMMENT	BY	CHK
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2	12/23/2021	REV PER BOROUGH COMMENTS	MB	MLAT

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PROJECT NO.: JM160715
DRAWN BY: MB
CHECKED BY: MLAT
DATE: 11/08/2021
CAD I.D.: JM160715-CDS-2A

PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
MAVEN GROUP
215 DURHAM AVENUE
BLOCK 71; LOTS 37 01 & 37 02
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY
OAKITE SITE
REDEVELOPMENT;
TAX MAP SHEET #17

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PROFESSIONAL ENGINEER
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PENNSYLVANIA LICENSE NO. 73369

SHEET TITLE:
DETAIL SHEET
SHEET NUMBER:
C-901
REVISION 2 - 12/23/2021

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
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PRELIMINARY & FINAL MAJOR SITE PLAN

FOR
MAVEN GROUP
 215 DURHAM AVENUE
 BLOCK 71; LOTS 37.01 & 37.02
 BOROUGH OF METUCHEN
 MIDDLESEX COUNTY, NEW JERSEY
 OKAITE SITE
 REDEVELOPMENT;
 TAX MAP SHEET #17

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 PROJECT: OKAITE SITE REDEVELOPMENT

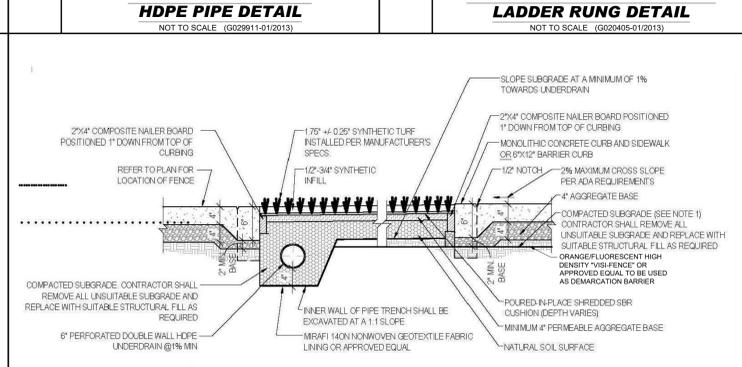
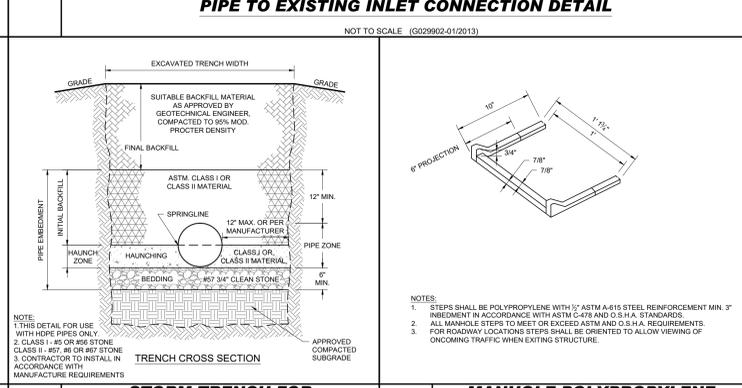
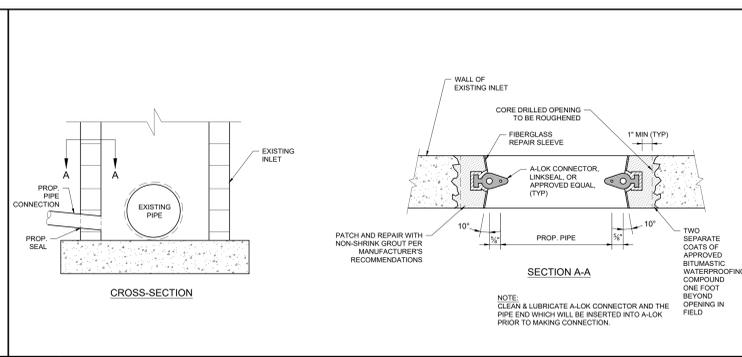
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SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:
C-902

REVISION 2 - 12/23/2021



GENERAC MOBILE LINKTOWER PORTABLE LED LIGHT TOWER
 NOT TO SCALE (SOURCE: ELECTRIC GENERATORS DIRECT)

NOTE: CONTRACTOR TO COORDINATE WITH BOROUGH ENGINEER FOR APPROVAL ON ALTERNATE UNITS IF THE PICTURED UNIT IS NOT INTENDED TO BE UTILIZED.

