

SITE PLAN PREPARED FOR STORAGE FACILITY LOT 3 IN BLOCK 37 BOROUGH OF METUCHEN MIDDLESEX COUNTY, NEW JERSEY

BULK REQUIREMENTS FOR ZONE "LI" (LIGHT INDUSTRIAL DISTRICT)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SF	10,417.83 SF	10,417.83 SF
MINIMUM LOT WIDTH	200 FT	71.26 FT.	71.26 FT.
MINIMUM LOT DEPTH	200 FT	182.53 FT.	182.53 FT.
MINIMUM FRONT YARD SETBACK	40 FT	N/A	(V) 28.67 FT
MINIMUM ONE SIDE YARD SETBACK	20 FT	N/A	(V) 5 FT
MINIMUM SIDE YARD SETBACKS COMBINED	40 FT	N/A	(V) 10.41 FT
MINIMUM REAR YARD SETBACK	50 FT	N/A	(V) 5 FT
MAXIMUM BUILDING LOT COVERAGE	50%	N/A	29.4%
MAXIMUM IMPERVIOUS COVERAGE	70%	0.78%	69.9%
MAXIMUM BUILDING HEIGHT	35 FT./3 STORIES	N/A	<35 FT./1 STORY

(V) PROPOSED VARIANCE REQUIRED

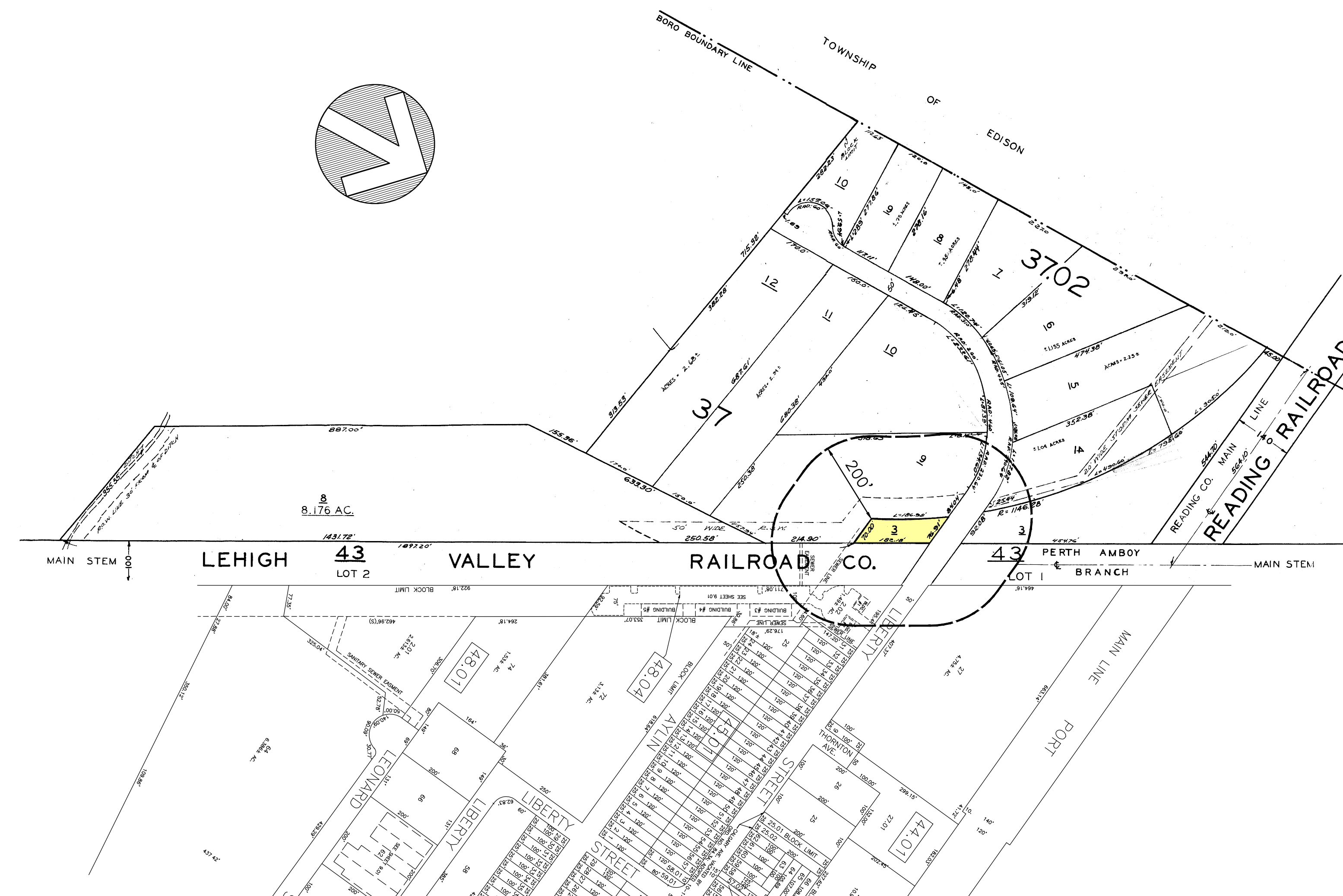
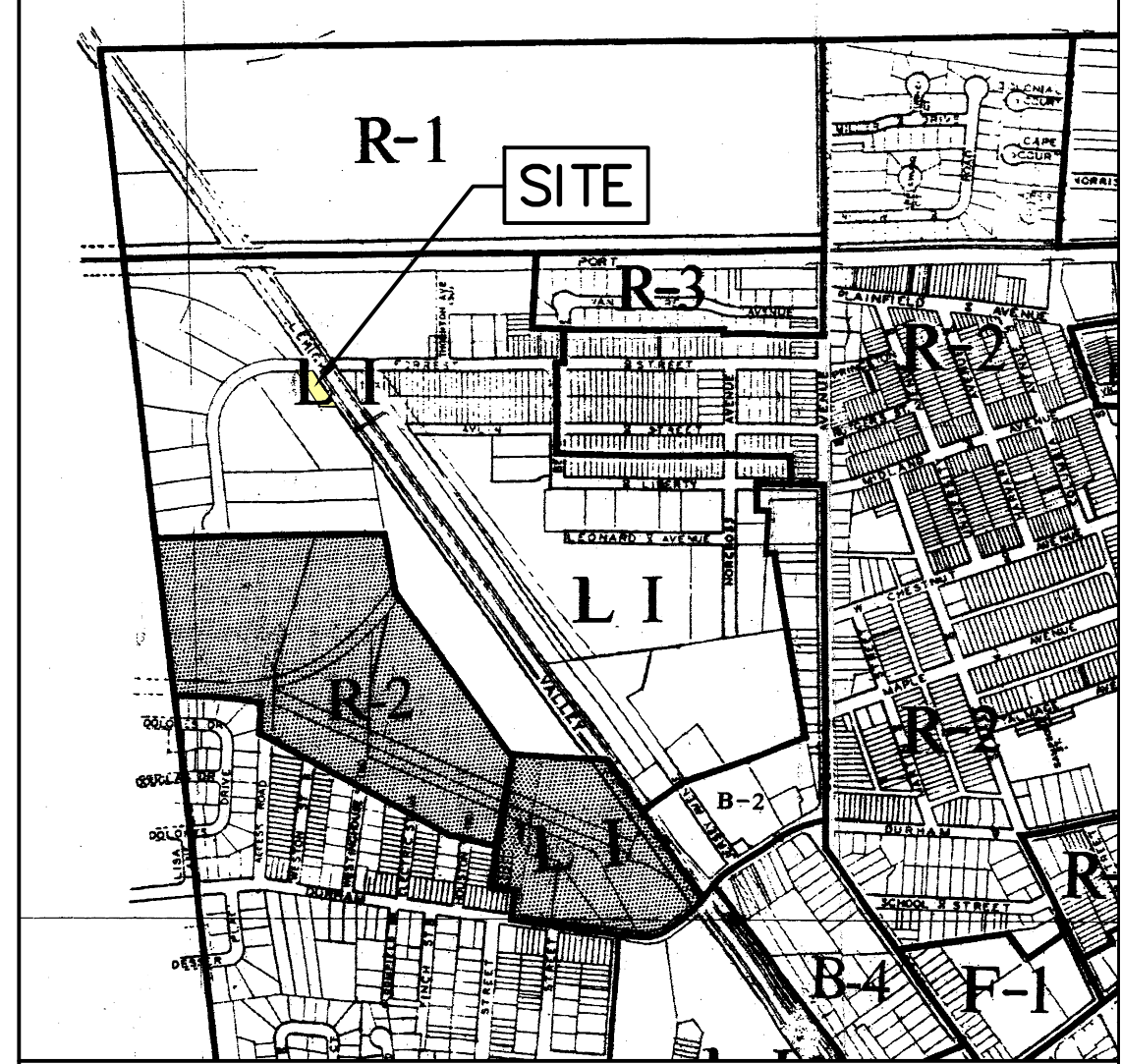
OFF-STREET PARKING REQUIRED

WAREHOUSE AND STORAGE USES:
1.0 PER 1,000 SQUARE FEET OF FLOOR AREA
3,066/1,000 = 3.066 = 3 SPACES REQUIRED
TOTAL OF 2 SPACES PROPOSED

GENERAL NOTES

- PROPERTY KNOWN AND DESIGNATED AS LOT 3 IN BLOCK 37 SHOWN ON THE CURRENT TAX MAP SHEET No. 8 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
- AREA OF SITE:
EXISTING LOT 3 = 10,417.83 S.F. (0.24 AC.)
- THE PROPERTY IS SITUATED IN ZONE "LI" (LIGHT INDUSTRIAL DISTRICT).
- LOT 3 CURRENTLY IS OPEN LAND AND HAS NO EXISTING STRUCTURES ON SITE.
- THE APPLICANT PROPOSES A PERMITTED CONDITIONAL USE TO CONSTRUCT A 3,066 S.F. MINI-STORAGE BUILDING WITH 12 BAY DOORS AND PAVED DRIVE WITH 3 PARKING STALLS.
- THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM A MAP ENTITLED, "PLAN OF SURVEY, 51 HOLLY ROAD ASSOCIATES, LLC, BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY, BLOCK 37, LOT 3", DATED 05/01/19, PREPARED BY BRUNSWICK SURVEYING INC., PISCATAWAY, NEW JERSEY 08854.
- ALL PROPOSED IMPROVEMENTS SHALL CONFORM TO THE BOROUGH OF METUCHEN AND MIDDLESEX COUNTY STANDARDS AND SPECIFICATIONS.
- OWNER/APPLICANT:
51 HOLLY ROAD ASSOCIATES, LLC
195 MAIN STREET SUITE 206
METUCHEN, NJ 08840
(732) 709-8297

ZONING MAP SCALE: 1" = 800'



200' RADIUS AND TAX MAP

SCALE: 1" = 200'

PROPERTY OWNERS WITH 200 FT. OF PROJECT

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNER'S NAME & ADDRESS	APPLICANT'S BLOCK, LOT 3	COUNTY 12 MIDDLESEX
37	LIBERTY ST.	1	LIBERTY STREET ASSOCIATES LLC 37 LEHIGH VALLEY RAILROAD CO. METUCHEN, NJ 08840	37	08840
37	200 LIBERTY ST.	4B	VJ LIBERTY LLC 200 LIBERTY ST METUCHEN, NJ 08840	37	08840
37	200 LIBERTY ST.	4A	AMERICAN TOMER / PROPERTY TAX DEPT. P.O. BOX 723597 ATLANTA, GA 31139	37	08840
37	230 LIBERTY ST.	4B	LIBERTY 230 LLC 230 LIBERTY ST METUCHEN, NJ 08840	37	08840
37.2	195 LIBERTY ST	4B	WELCO INC, CONFIDENTIAL PLAZA-07H PL 403 HACKENSACK AVE. HACKENSACK, NJ 07601	37.2	07601
37.2	205 LIBERTY ST.	4B	205 LIBERTY LLC 205 LIBERTY ST METUCHEN, NJ 08840	37.2	08840
43	LEHIGH-PERTH AMBOY RR 12, 3	15F	COM RAIL CORPN/PORFOLK SOUTHERN CORP P.O. BOX 40036 RICHMOND, VA 24022-0036	43	24022-0036
44.1	159 LIBERTY ST.	4B	CARRIER REALTY, L.L.C. 159 LIBERTY STREET METUCHEN, NJ 08840	44.1	08840
48.4	160-1 LIBERTY ST.	4B	USBAHM REALTY LLC 160-1 LIBERTY ST. METUCHEN, NJ 08840	48.4	08840
48.4	160-2 LIBERTY ST.	4B	UNIQUM PROPERTIES LLC 160-2 LIBERTY ST METUCHEN, NJ 08840	48.4	08840
48.4	160-3A LIBERTY ST.	4B	SDA HOLDINGS LLC 160 LIBERTY STREET METUCHEN, NJ 08840	48.4	08840
48.4	160-3B LIBERTY ST.	4B	TOP SEED REALTY LLC 160 LIBERTY ST STE 3B METUCHEN, NJ 08840	48.4	08840
48.4	160-3C LIBERTY ST	4B	SIMFORD REFRIGERATION HEATING & AIR 160 LIBERTY ST STE 3C METUCHEN, NJ 08840	48.4	08840
48.4	160-3D LIBERTY ST.	4B	SIMFORD REFRIGERATION HEATING & AIR 160 LIBERTY STREET STE 3D METUCHEN, NJ 08840	48.4	08840
48.4	160-4A LIBERTY ST. QUAL C4B, C4C, C4D	4B	USBAHM REALTY LLC 160-4 LIBERTY ST, 4A-4D METUCHEN, NJ 08840	48.4	08840
48.4	160-5A LIBERTY ST.	4B	ALLER NOTHING PROPERTY MGMT LLC 160 LIBERTY ST. UNIT 5A METUCHEN, NJ 08840	48.4	08840
48.4	160-5B LIBERTY ST.	4B	ALLER NOTHING LLC 160 LIBERTY ST. UNIT 5B METUCHEN, NJ 08840	48.4	08840
48.4	160-5C LIBERTY ST.	4B	CRAN, JOHN Y 23 BENTON DR. PLAINSBORO, NJ 08536	48.4	08536
48.4	160-5D LIBERTY ST.	1	CRAN, JOHN Y 28 YORK BLVD, 4A EDISON, NJ 08817	48.4	08817

PLEASE SEND A NOTICE OF HEARING LETTER TO THE FOLLOWING UTILITY COMPANIES. THIS REQUIREMENT IS FOR ALL APPLICATIONS BEFORE THE PLANNING AND ZONING BOARD OF ADJUSTMENT. YOU MUST SEND ALL NOTICES BY CERTIFIED MAIL.

P.S.E. & G. Co.
Manager-Corporate Properties
80 Park Plaza, T68
Newark, NJ 07102

Elizabeth Gas Co.
1 Elizabeth Plaza
P.O. Box 3175
Union, NJ 07083

Calverton of Raritan Valley
275 Centennial Avenue
CN 6895
Piscataway, NJ 08855
Attn: Marguerite Presdeville
Construction Department

Texas Eastern Transmission Corp.
501 Coolidge Street
South Plainfield, NJ 07080

Middlesex Water Co.
485 Rt 1 So. 30th C-4th Flr.
Iselin, NJ 08830

New Jersey Bell Telephone Co.
540 Broad St. - Room 305
Newark, NJ 07101

Parking Authority
800 Main Street
Metuchen, NJ 08840

Middlesex County Planning Board
Middlesex County Administration Building
John F. Kennedy Square
75 Bayard Street, 3rd Floor
New Brunswick, NJ 08901

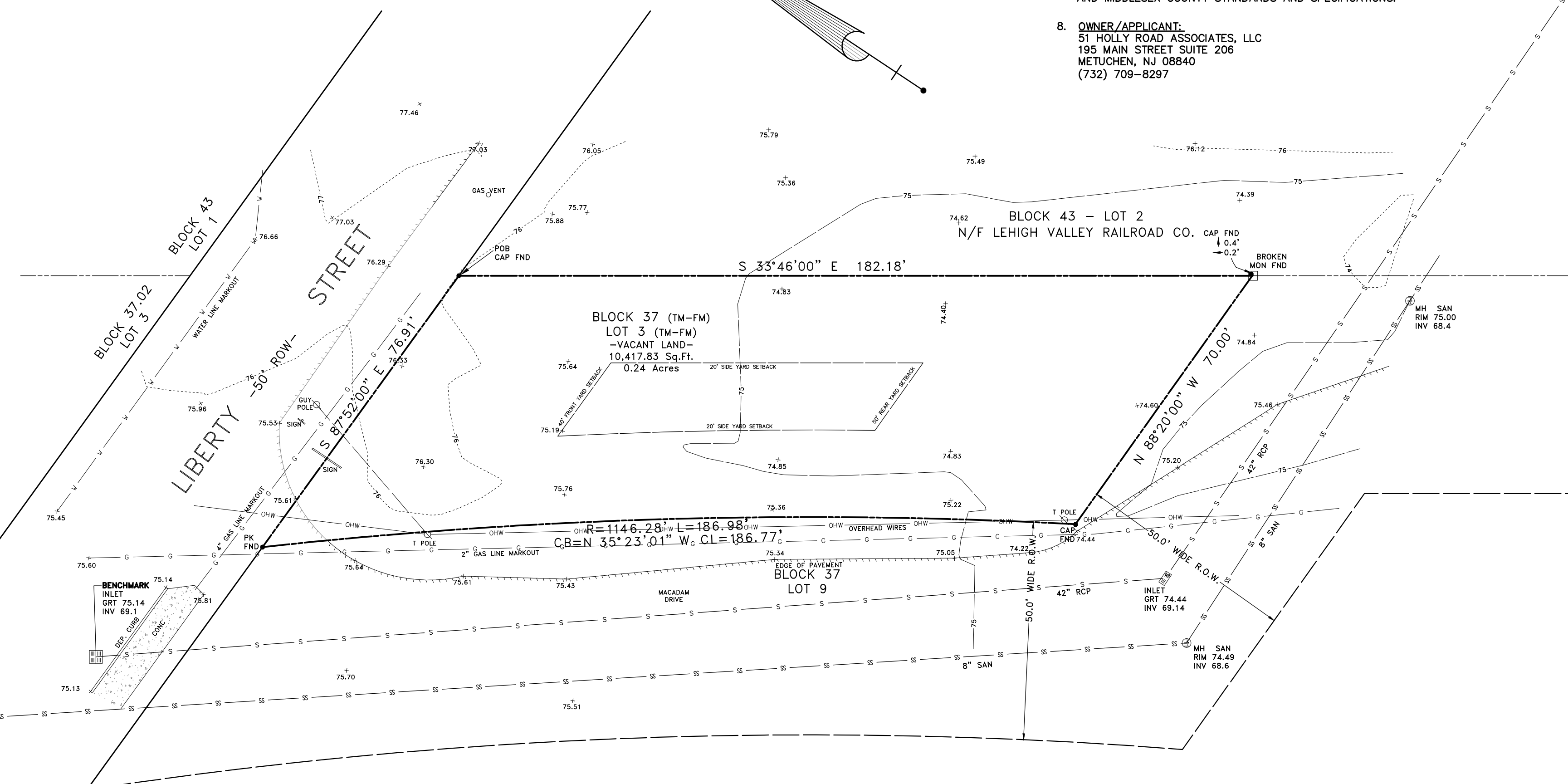
Freehold Soil Conservation District
4000 Knolls Road
P.O. Box 5033
Freehold, NJ 07728-5033

DEPT. OF TRANSPORTATION
1035 PARKWAY AVENUE
CW401
TRENTON, NJ 08625

FREEHOLD SOIL WANTS TO SEE ALL SITE PLAN APPLICATIONS EVEN IF YOU ARE NOT DISTURBING MORE THAN 5,000 SQUARE FEET OF LAND. PLEASE SEND A COPY OF THE APPLICATION FOR DEVELOPMENT AND PLAN TO:

PLEASE NOTE THAT IN ORDER TO OBTAIN A BUILDING PERMIT FROM THE BUILDING DEPARTMENT YOU ARE REQUIRED TO HAVE AN APPROVAL LETTER OR AN EXEMPTION LETTER FROM FREEHOLD SOIL.

YOU MUST NOTICE D.O.T. IF THE PROPERTY IS LOCATED OR WITHIN 200 FEET OF A STATE HIGHWAY.



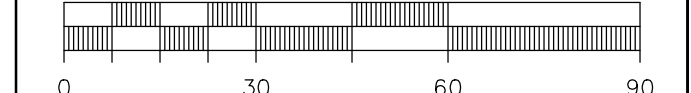
EXISTING CONDITIONS MAP

SCALE: 1" = 30'

INDEX OF DRAWINGS	SHEET NO.	LAST REVISED
200 FT. RADIUS & TAX MAP & EXISTING CONDITIONS MAP	1	
DIMENSIONING PLAN & GRADING & UTILITY PLAN	2	
LANDSCAPING & LIGHTING PLAN	3	
SOIL EROSION & SEDIMENT CONTROL PLAN	4	
CONSTRUCTION DETAIL SHEET	5	

200' RADIUS & TAX MAP & EXISTING CONDITIONS MAP

GRAPHIC SCALE 1" = 30'



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CERTIFICATE OF AUTHORIZATION NUMBER: 24GA28084700

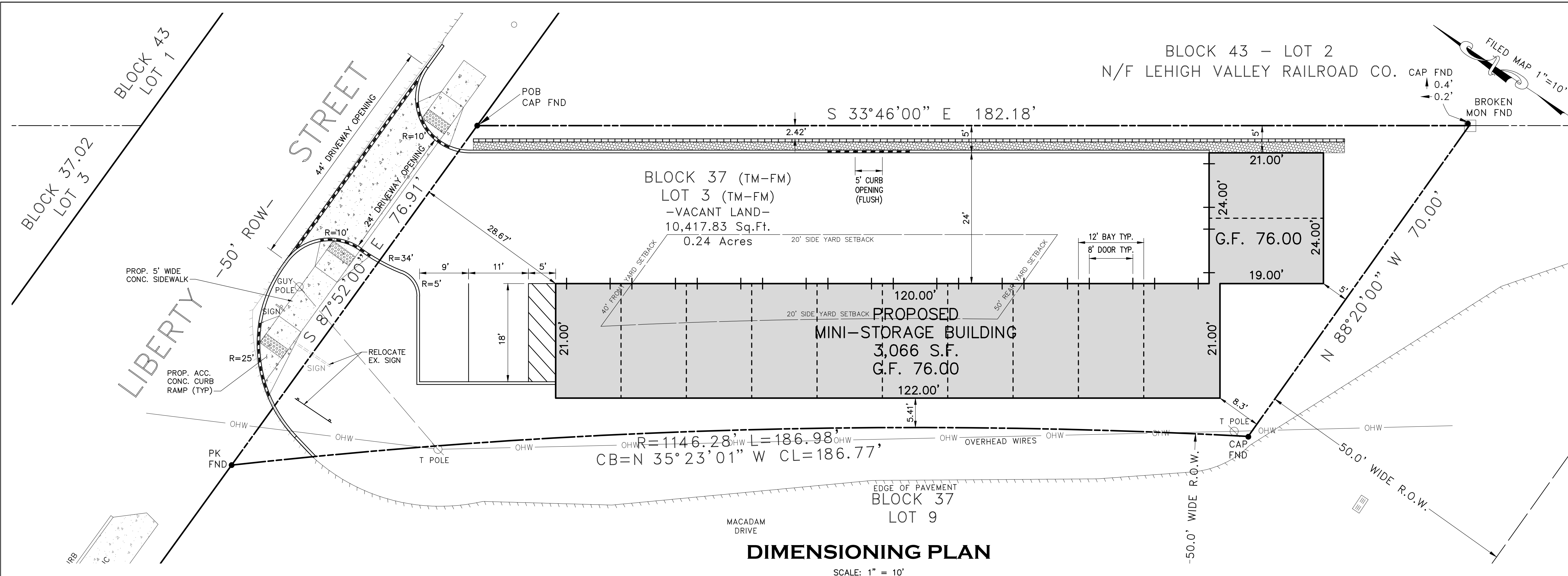
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SITE PLAN
PREPARED FOR:
**LOT 3 IN
BLOCK 37**
LIBERTY STREET
SITUATED IN:
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-41 DATE: 04/27/21 SCALE: 1" = 30'
FILE: 046.0041 DRAWN: RVB SHEET 1 OF 5

LESLIE A. WALKER III, PE DATE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24GE04729700



DIMENSIONING PLAN
SCALE: 1" = 10'

HYDRAFLOW HYDROGRAPHS (25-YEAR STORM EVENT)											
Hyd. No.	Hydrograph Type	Peak Rate (cfs)	Time Interval (min)	Time of Conc. To Peak (min)	Time to Peak (min)	Volume (cuft)	Inflow (cfs)	Maximum Elevation (ft)	Maximum Storage (cuft)	Hydrograph Description	
1	SCS Runoff	0.945	5	10.00	730.00	208				Ex. Pav. (0.01 ac-impv)	
2	SCS Runoff	0.680	5	25.50	740.00	3,011				Ex. Open (0.23 ac-impv)	
3	Combine	0.787	5		740.00	4,020	1.2			Ex. Site (0.24 ac)	
4	SCS Runoff	0.452	5	10.00	730.00	2,083				Pr. Pav. (0.15 ac-impv)	
5	SCS Runoff	0.316	5	10.00	730.00	1,458				Pr. Roof (0.07 ac-impv)	
6	SCS Runoff	0.173	5	25.50	740.00	970				Pr. Open (0.06 ac-impv)	
7	Combine	0.948	5		730.00	4,720	1.4, 5, 6			Pr. Site (0.24 ac)	

STORMWATER DATA:

TOTAL AREA OF SITE (EX AND PR): 0.24 AC
 PROPOSED DISTURBANCE AREA: 0.27 AC

EXISTING SURFACES ON SITE
 EXISTING PAVEMENT AREA (TO REMAIN): 0.01 AC
 GRASS (OPEN) AREA: 0.23 AC

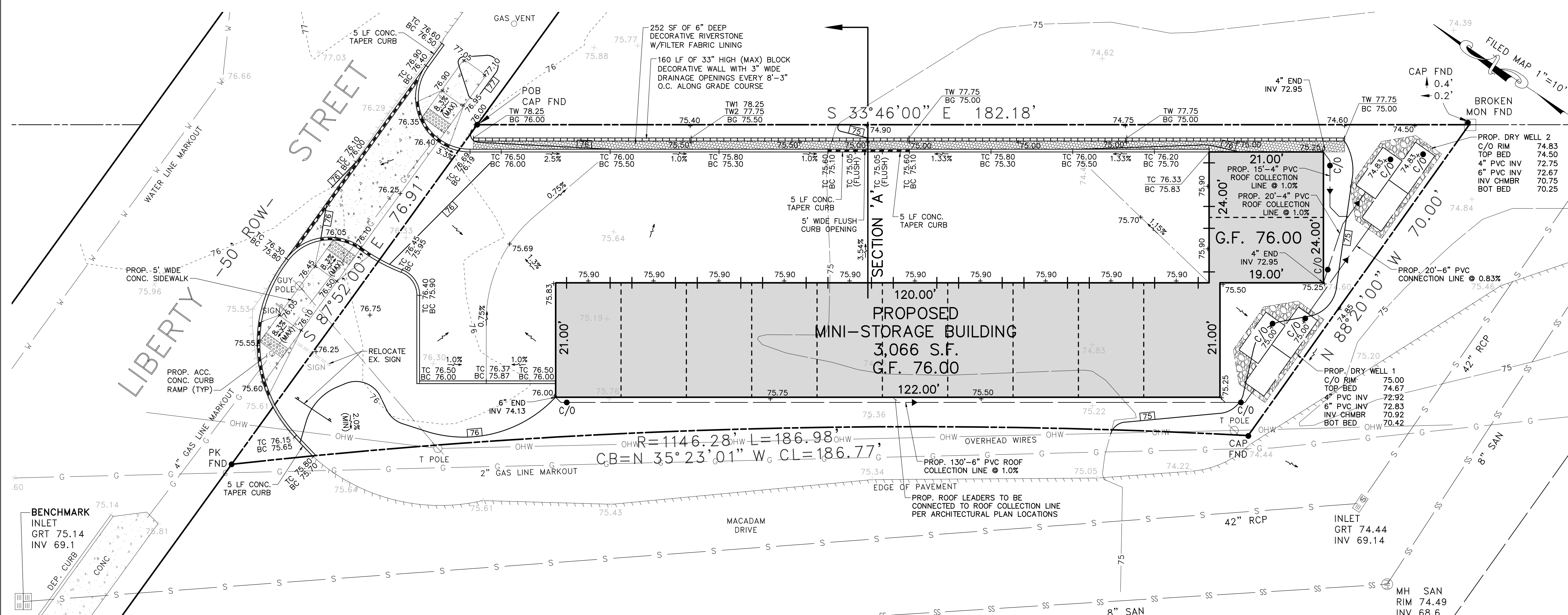
PROPOSED SURFACES ON SITE
 EXISTING PAVEMENT AREA (TO REMAIN): 0.01 AC
 NEW PAVEMENT/CONCRETE: 0.10 AC
 ROOF AREA: 0.07 AC
 OPEN AREA (STONE=0.01 AC, GRASS=0.05 AC): 0.06 AC

TOTAL EXISTING SITE VOLUME OF 25-YEAR STORM EVENT
 STORM RUNOFF (HYDROGRAPH 3) = 4,020 CF
 TOTAL PROPOSED SITE VOLUME OF 25-YEAR STORM EVENT
 STORM RUNOFF (HYDROGRAPH 7) = 4,720 CF
 4,020 CF - 4,720 CF = -700 CF
 NET INCREASE IN POST CONDITION VOLUME = 700 CF

DRY WELL 1 & 2 STORAGE VOLUME:
 MANUFACTURER'S RATED UNIT VOLUME = 53 CF x 6 UNITS = 318 CF
 EXCAVATED VOLUME = 2 x [(10 FT x 5.83 FT x 4.25 FT) + (10 FT x 4.5 FT x 4.25 FT)] = 1,496 CF - 318 CF = 1,178 CF
 VOID RATIO 33%: 1,178 CF x 0.33 = 393 CF
 318 CF + 393 CF = 711 CF
 TOTAL PROVIDED STORAGE = 711 CF [102% REQUIRED STORAGE]

SOIL DATA:

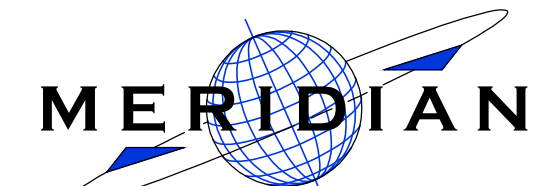
- CUSTOM SOIL RESOURCE REPORT, USDA-NRCS WEBSITE (HTTPS://WEBSOILSURVEY.SCS.EDU/USDA.GOV/). SOIL VARIANT IS NIXON MODERATELY WELL DRAINED VARIANT-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES (NKTB)
- GEOTECH REPORT PREPARED BY HYDROSCIENCE GROUP, INC., BAYVILLE, NJ, DATED 04/15/21 - SEASONAL HIGH WATER TABLE (SHWT) = 5'-10" BELOW GRADE, AVG. GRADE 75.0 - 5.8 = SHWT = 69.2 ELEV.
- PERMEABILITY RATE = 4.0 IN/HR
 WITH A SAFETY FACTOR OF 2, DESIGN FLOW RATE IS 2.0 IN/HR.
 THE PROPOSED INFILTRATION AREA = 358.5 SF (EXCLUDES LATERAL FLOW)
 DRAIN TIME = TOTAL VOLUME / (INFILTRATION AREA x PERM. RATE)
 = 716 CF / (358.5 SF x 2.0 IN/HR x 0.083 FT/IN) = 12 HOURS



GRADING AND UTILITY PLAN
SCALE: 1" = 10'

DIMENSIONING PLAN & GRADING & UTILITY PLAN
GRAPHIC SCALE 1" = 10'

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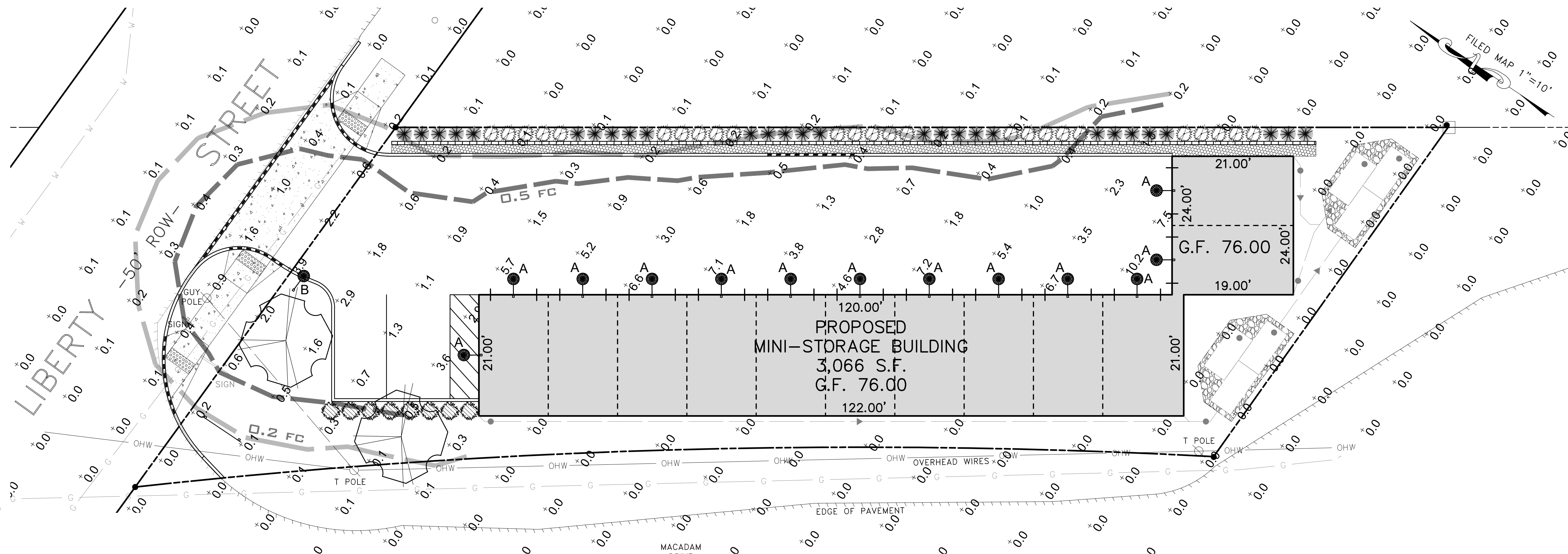
SITE PLAN PREPARED FOR:
LOT 3 IN BLOCK 37
 LIBERTY STREET
 SITUATED IN:
 BOROUGH OF METUCHEN
 MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-41 DATE: 04/27/21 SCALE: 1" = 10'
 FILE: 046.0041 DRAWN: RVB SHEET 2 OF 5

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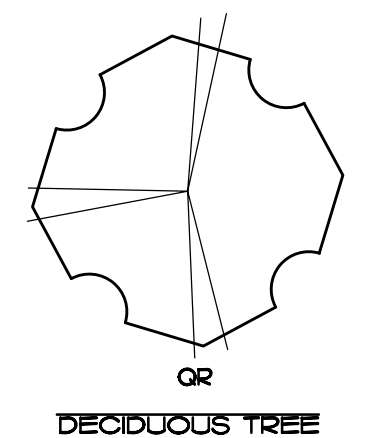
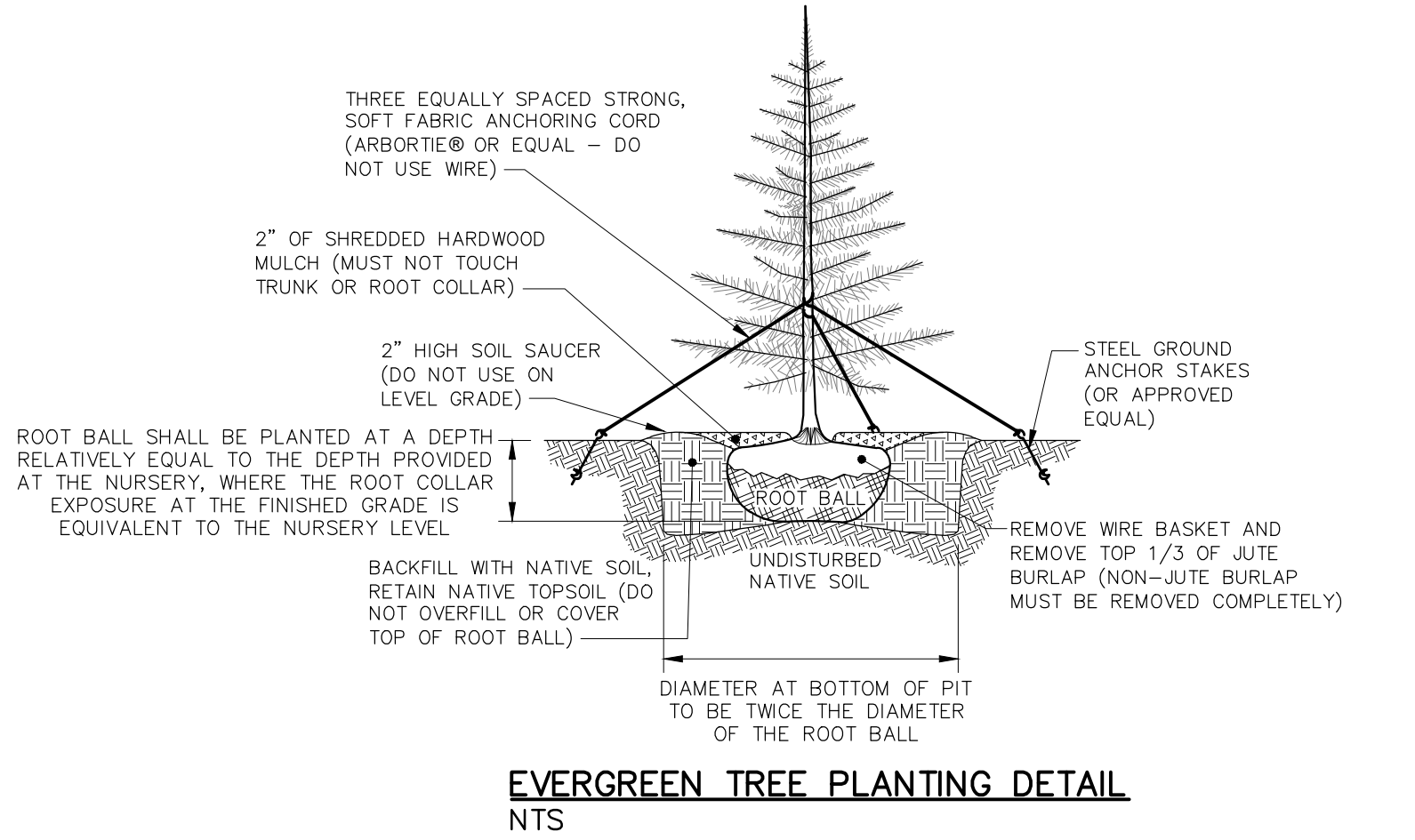
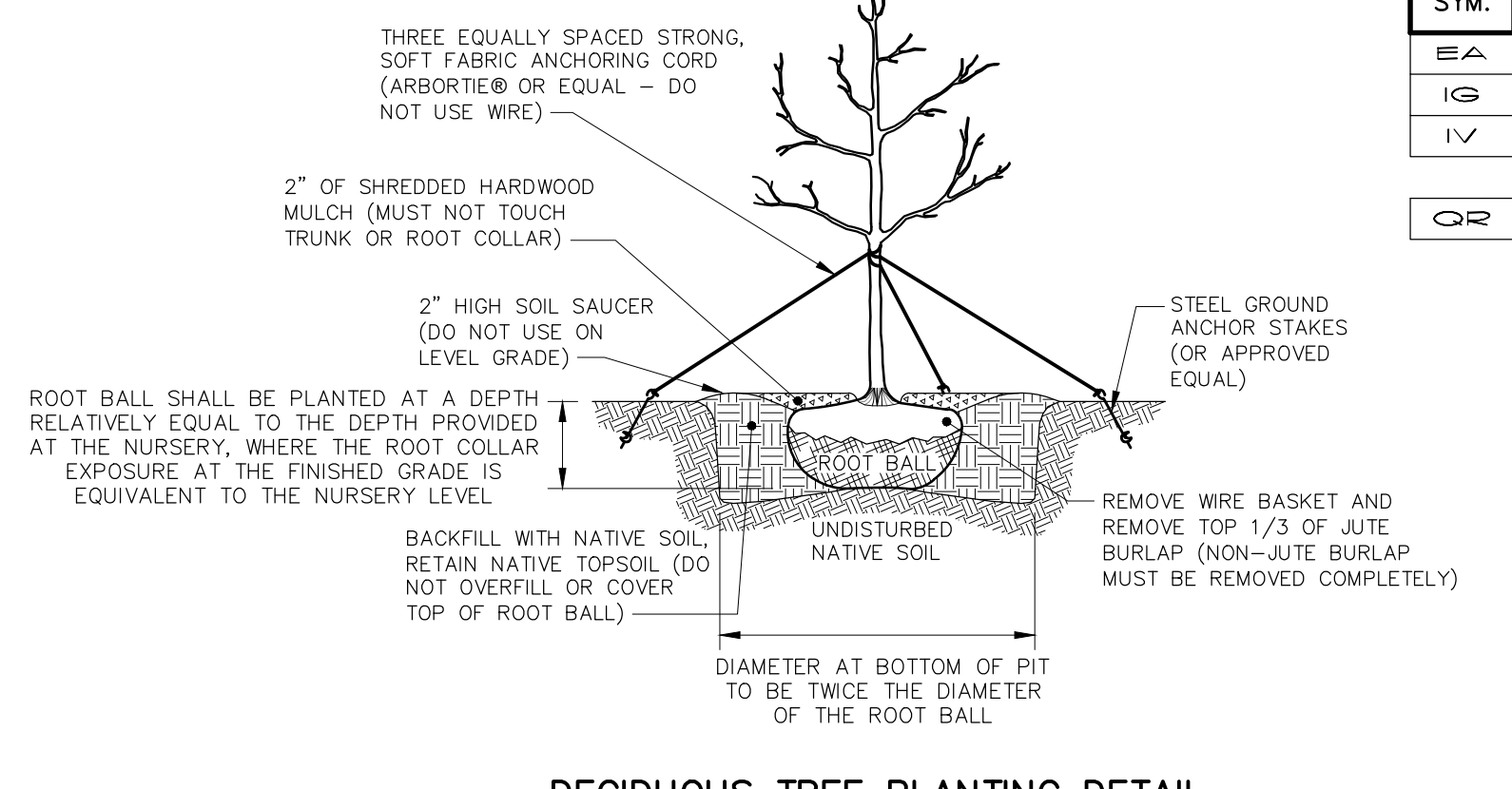
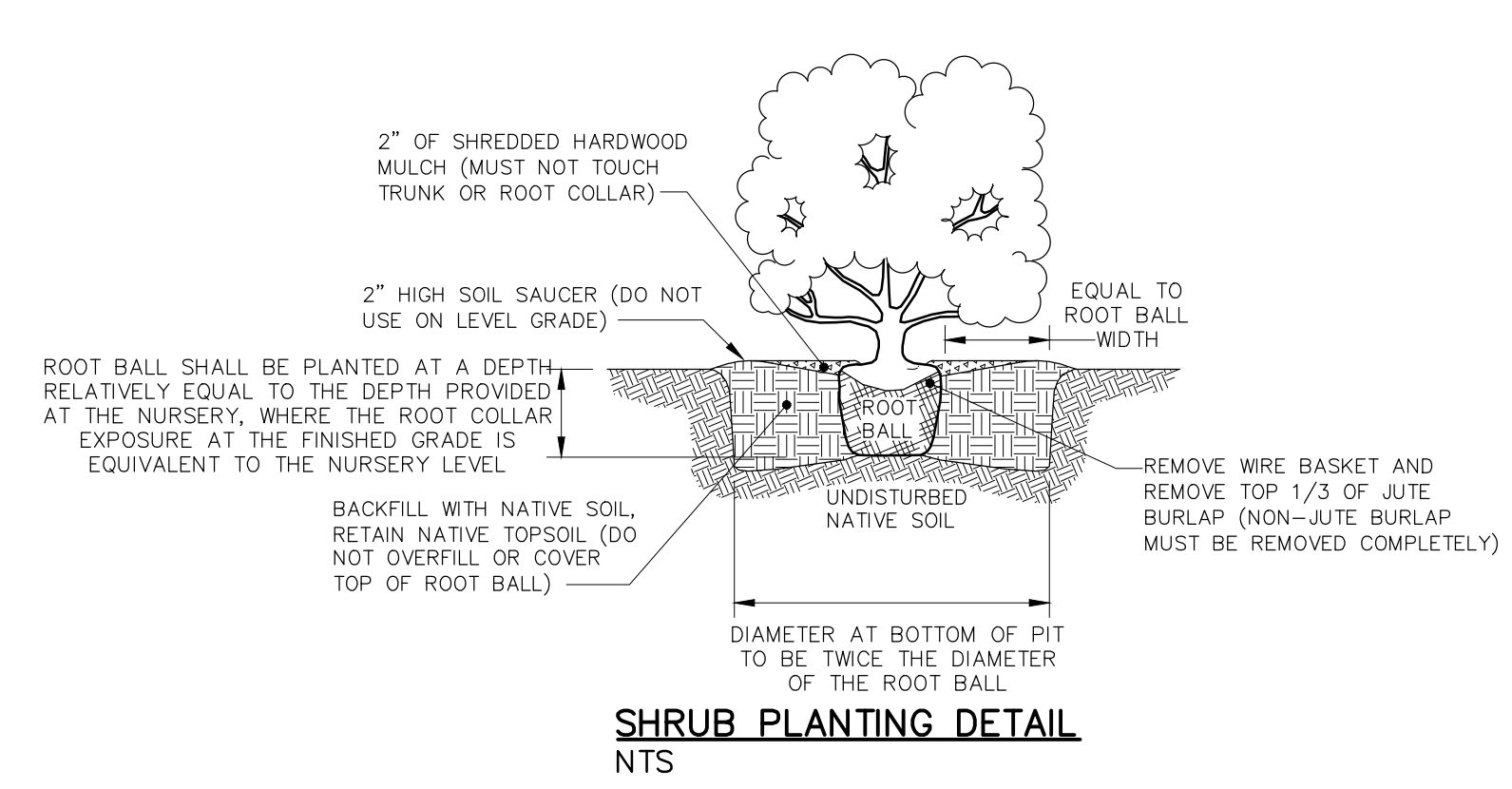
PLANTING NOTES

- All landscaping plant material are shown in a semi-mature size in this plan set. Sizes indicated in Plant List are sizes at time of installation.
- The staking layout of all retaining walls, walkways, patio and deck surfaces, irrigation lines, and plantings (where applicable) shall be inspected by the Municipal Engineer (or similar agent as applicable) prior to installation. It is the contractor's responsibility to notify the Municipal Engineer (or similar agent as applicable) as to when the work shall begin.
- Plant locations shown on this plan are diagrammatic. The final locations of all plant materials shall be determined and approved by the Municipal Engineer (or similar agent as applicable).
- The quality and size of plants, spread of roots and size of root balls shall be in accordance with ANSI Z601-1986, "American Standard for Nursery Stock" as published by the American Association of Nurserymen.
- The Contractor shall examine all field conditions for exact locations of utilities, drainage systems and irrigation systems and shall adjust proposed plantings accordingly.
- The Contractor shall notify the Municipal Engineer (or similar agent as applicable) in writing of all soil or drainage conditions which the Contractor considers detrimental to the growth of the plant material.
- GUARANTEE OF PLANT MATERIALS AND GROWTH:** All plants and trees shall be guaranteed by the Contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least one year for trees, and a minimum of one growing season for shrubs. Replacements shall be made at the beginning of the first succeeding planting season.
- All plant substitutions are to be verified with the Municipal Engineer (or similar agent as applicable) prior to purchase and installation.
- All trees over six feet in height are to be staked at time of installation. All street trees (as applicable) shall be located minimum of four (4) feet from the sidewalk in the front lawn area, and shall be spaced on average of fifty (50) feet apart unless indicated otherwise in this plan set.
- All landscape areas, either newly created or in existing areas that require repair shall be provided with a 4" thick minimum topsoil layer if none less than 4" are present and shall be temporarily seeded during construction at the rates and applications as specified in the "Temporary Stabilization Specs" notation of the Soil Erosion and Sediment Control Details within this plan set. If lawns are to be provided, seed at the rates and applications as specified in the "Permanent Stabilization Specs" notation of the soil erosion and sediment control details within this plan set.
- All side slopes and bottoms of intermittent water-containing structures (such as grassed waterways or detention basins, if applicable) shall be provided with 6" thick minimum topsoil layers and shall be seeded at the rates and applications as specified in the "Intermittent Waterways - Permanent Seeding Specs" notation of the Soil Erosion and Sediment Control Details within this plan set.
- The Contractor shall lime, fertilize and mulch all landscape areas at the rate specified by the Soil Erosion and Sediment Control Permanent Stabilization notes within this plan set.
- It is the Contractor's responsibility to determine soil acidity levels of the underlying soils of the new lawn areas. A PH level of 4 or less will require a new 12" minimum layer of soil with a PH of 5 or greater before the topsoil is applied. The acidic underlying soil shall either be ameliorated by scarifying 12" of the soil and adding limestone until the soil is no longer acidic or a new layer will be applied on top, which ever is most applicable.
- No soil shall be placed atop the planting rootball and the root collar must be exposed. Wire baskets and the top 1/3 of jute burlap are to be removed prior to backfilling the planting pit. Any material other than jute burlap must be removed completely. The sub-soil should not be disturbed directly under the root ball platform.
- The Contractor shall fertilize all landscaping plant material with 5-10-5 fertilizer, or approved equal, at the rate specified by the manufacturer.
- All tree pits, plant beds and ground cover areas shall be mulched to a 3-inch depth (after settlement) with shredded hardwood mulch. Shredded hardwood mulch with a maximum of one (1) inch of mulch shall be placed within twelve (12) inches of tree trunks. The mulch should not come in contact with the trunk or the root collar. The mulch shall have no leaves, weeds, branches, shavings, twigs over 2" diameter, or foreign material such as stones, etc.



PROPOSED PLANT LIST FOR PROJECT SITE

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	REMARKS
EA	8	Euonymus alatus 'compactus'	Compact Winged Euonymus	36" High	B&B
IG	25	Ilex glabra 'compacta'	Inkberry	24"	B&B
IV	28	Itea virginica 'Beppu'	Virginia Sweetspire	24"	B&B
61 = TOTAL SHRUBS					
OR	2	Quercus Rubra	Red Oak	2.5" Cal.	B&B
2 = TOTAL DECIDUOUS TREES					



Luminaire Schedule

Symbol	Label	UNITS	Description	Arr. Watts	Arr. Lum. Lumens
●	A	13	ANP #MC12-M010LDDW40K-RTCW-E3-COLOR-UNV	10	1885
●	B	1	ANP #MC18-M024LDDW40K-PM10-COLOR-UNV + BD3STLS16-7-TBD-TBD-COLOR	30	2894

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Area	Illuminance	Fc	0.5	10.2	0.0	N.A.	N.A.
Parking-Drive Lane	Illuminance	Fc	2.8	10.2	0.2	13.8	51.0

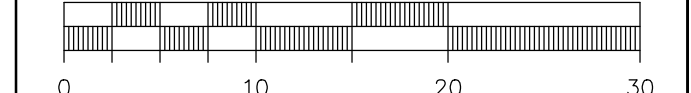
NOTES:

- FIXTURES ARE CALCULATED AT "INITIAL" FC LEVELS. LIGHT LEVELS WILL SLOWLY DECREASE OVER TIME IN ACCORDANCE WITH TM-21 AND L70 DATA PUBLISHED ON FIXTURE CUTSHEET.
- FIXTURES ARE DIMMABLE WITH 0-10V CONTROLS.
- ADVISE IF ANY LIGHTING CONTROLS ARE NEEDED FOR CODE COMPLIANCE

REV.	DESCRIPTION	DATE	BY

LANDSCAPING & LIGHTING PLAN

GRAPHIC SCALE 1" = 10'



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CAD:	46-41	DATE:	04/27/21	SCALE:	1" = 10'
FILE:	046.0041	DRAWN:	RVB	SHEET:	3 OF 5

Leslie A. Walker III
LESLIE A. WALKER III, PE DATE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24GE04729700

ANP Lighting Specifications MC12

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



MC12 LED

Height: 1.5 ft

MC12-M016LDD W 40K RTCW E6 - PC - 41 - UNV

Category Number: 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

1 LIGHT SOURCE & FINISHES

2 DRIVER SPECIFICATIONS

3 MOUNTING SERVICES

4 COLOR TEMPERATURE (CCT)

5 ACCESSORIES

6 FINISHES

7 WARRANTY

8 VOLTAGE

1-800-548-3227 ANPlighting.com

ANP Lighting Specifications MC12

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

ACCESSORIES

LED MODULE SPECIFICATIONS

MODULE SPECIFICATION:

MODULE LISTINGS

WARRANTY

VOLTAGE

1-800-548-3227 ANPlighting.com

ANP Lighting Specifications MC12

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

ARM MOUNTS (Dimensions are Projection x Height | CB included with all arms | Arm will match fixture finish)

DRIVER HOUSINGS

WALL MOUNTS (Dimensions are Projection x Height)


POST MOUNTS (Dimensions are Projection x Height)

ACCESSORIES

1-800-548-3227 ANPlighting.com

ANP Lighting Specifications MC18

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



MC18 LED

Height: 2.5 ft

MC18-M024LDD W 40K RTCW E6 - PC - 41 - UNV

Category Number: 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

1 LIGHT SOURCE & FINISHES

2 DRIVER SPECIFICATIONS

3 MOUNTING SERVICES

4 COLOR TEMPERATURE (CCT)

5 ACCESSORIES

6 FINISHES

7 WARRANTY

8 VOLTAGE

1-800-548-3227 ANPlighting.com

ANP Lighting Specifications MC18

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

ACCESSORIES

LED MODULE SPECIFICATIONS

MODULE SPECIFICATION:

MODULE LISTINGS

WARRANTY

VOLTAGE

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ANP Lighting Specifications MC18

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

ARM MOUNTS (Dimensions are Projection x Height | CB included with all arms | Arm will match fixture finish)

DRIVER HOUSINGS

WALL MOUNTS (Dimensions are Projection x Height)

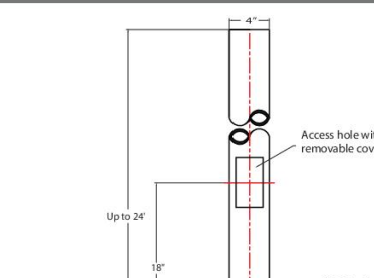
POST MOUNTS (Dimensions are Projection x Height)

ACCESSORIES

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ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



BD18T1810 - BAA - CCS1902 - 41

Category Number: 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

1 ACCESSORIES

2 FINISHES

3 WARRANTY

4 VOLTAGE

1-800-548-3227 ANPlighting.com

ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

ACCESSORIES

FINISHES


WARRANTY

VOLTAGE

1-800-548-3227 ANPlighting.com

ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



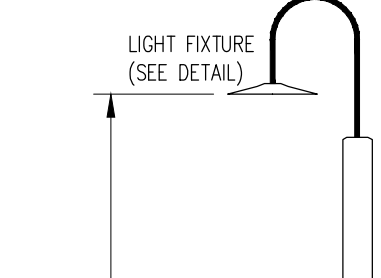
18" POLE BASE (1" REVEAL)

16' HIGH LIGHT POLE AND BASE

1-800-548-3227 ANPlighting.com

ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



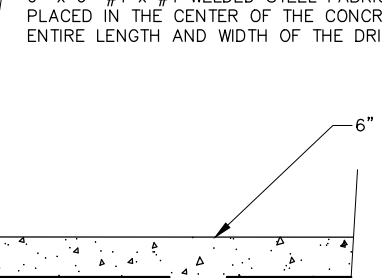
CONCRETE DRIVEWAY

MACADAM DRIVEWAY

1-800-548-3227 ANPlighting.com

ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

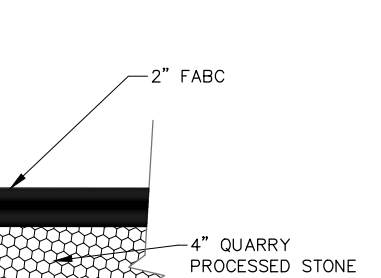


DETAIL OF PROPOSED ROOF DRAIN CONNECTION

1-800-548-3227 ANPlighting.com

ANP Lighting Bolt Down Round Steel Poles

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

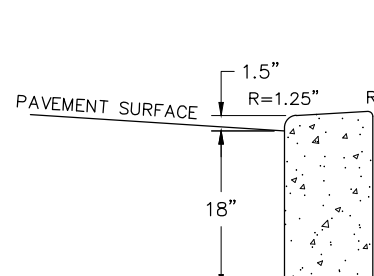


DETAIL OF PROPOSED ROOF DRAIN CONNECTION

1-800-548-3227 ANPlighting.com

ANP Lighting Driveway Depressed Curb Detail

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



DRIVEWAY DEPRESSED CURB DETAIL

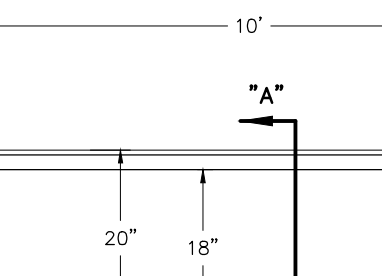
ACCESSIBLE CURB RAMP

TYPICAL STORM ROOF DRAIN CLEANOUT DETAIL

1-800-548-3227 ANPlighting.com

ANP Lighting Driveway Depressed Curb Detail

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



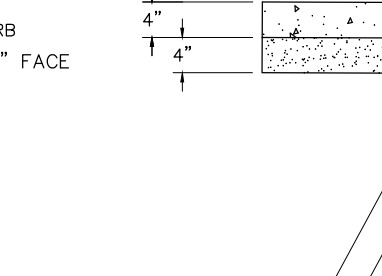
TYPICAL SIDEWALK DETAIL

TYPICAL 9"x18" CURB DETAIL

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ANP Lighting Driveway Depressed Curb Detail

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



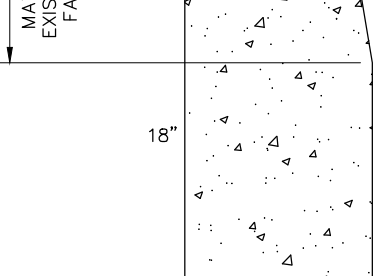
PROPOSED DETAIL OF DRY WELL 1

PROPOSED DETAIL OF DRY WELL 2

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ANP Lighting Driveway Depressed Curb Detail

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:

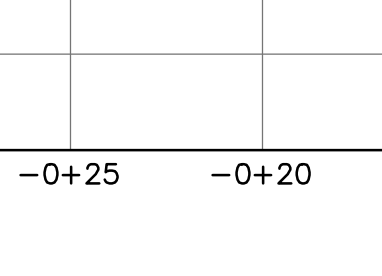


PROPOSED 3.3" HIGH (MAX) DECORATIVE TWO-SIDED BLOCK WALL

1-800-548-3227 ANPlighting.com

ANP Lighting Driveway Depressed Curb Detail

Project: 3 Liberty St
 Future Type: Quantity:
 Customer:



TYPICAL PROFILE

TYPICAL TOP VIEW

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CONSTRUCTION DETAIL SHEET

GRAPHIC SCALE 1" = 10'

MERIDIAN ENGINEERING GROUP, INC.

ENGINEERING GROUP, INC.

CERTIFICATE OF AUTHORIZATION NUMBER: 24G28084700

CIVIL ENGINEERING • LAND SURVEYING

LAND PLANNING • LANDSCAPE ARCHITECTURE

HYDRAULIC & HYDROLOGIC ENGINEERING

ENVIRONMENTAL & EROSION CONTROL ENGINEERING

1199 AMBOY AVENUE, SUITE 10
 EDISON, NEW JERSEY 08837
 PHONE: (732) 205-8288 • FAX: (732) 719-7208
 www.meridianeng.com • info@meridianeng.com

SITE PLAN PREPARED FOR:

LOT 3 IN BLOCK 37

LIBERTY STREET

SITUATED IN:

BOROUGH OF METUCHEN

MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-41 DATE: 04/27/21 SCALE: AS SHOWN
 FILE: 046.0041 DRAWN: RVB SHEET 5 OF 5

LESLIE A. WALKER III, PE DATE 04/27/21
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NUMBER: 24GE04729700