

**GENERAL NOTES**

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:  
 ALTA NPS LAND TITLE SURVEY  
 DYNAMIC SURVEY, LLC  
 1904 MAIN STREET  
 LAKE COME, NJ  
 SURVEYOR FILE NO: 0036-99-0075
- APPLICANT: MANASQUAN BANK  
 429 MAIN STREET P.O. BOX 431  
 METUCHEN, NJ 08840
- OWNER: MANASQUAN BANK  
 429 MAIN STREET P.O. BOX 431  
 METUCHEN, NJ 08840
- PARCEL DATA: BLOCK 114, LOTS 24, 25, 26, & 66  
 BOROUGH OF METUCHEN  
 MIDDLESEX COUNTY, NJ
- ZONE: REDEVELOPMENT ZONE (PROJECT AREA #2)
- EXISTING USE: BANK, FINANCIAL INSTITUTION (PERMITTED USE) (§ 110-75.4(4))
- PROPOSED USE: DRIVE-IN BANK, FINANCIAL INSTITUTION (PERMITTED USE) REDEVELOPMENT PLAN
- SCHEDULE OF ZONING REQUIREMENTS (§ 110 ATTACHMENT 1)

ZONE REQUIREMENT	REDEVELOPMENT ZONE (PROJECT AREA #2)	EXISTING	PROPOSED
MINIMUM LOT AREA	15,889 SF	15,889 SF	15,889 SF
MINIMUM FRONT YARD SETBACK - MAIN STREET (OR 531)	MATCH SETBACK (LOT 61) - 3.6 FT	3.7 FT	3.6 FT
MINIMUM FRONT YARD SETBACK - NEW STREET	2 FT (BLD) 18 FT (CANOPY)	2.5 FT N/A	2.4 FT (BLD) 19.9 FT (CANOPY)
MINIMUM REAR YARD SETBACK [1]	100 FT (LOT 56) 30 FT (CANOPY)	80.5 FT (E) N/A	114.0 FT (LOT 56) 37.9 FT (CANOPY)
MINIMUM SIDE YARD SETBACK	5 FT (LOT 61) 30 FT (CANOPY)	0 FT (E) N/A	5.9 FT (LOT 61) 31.5 FT (CANOPY)
MAXIMUM BUILDING HEIGHT	35 FT	N/A < 35 FT	< 35 FT
MINIMUM BUILDING HEIGHT	2 STORES	2 STORES	2 STORES
MAXIMUM LOT COVERAGE (BY BUILDINGS & CANOPIES)	25 %	34.1%	20.7%
MAXIMUM IMPERVIOUS COVERAGE	96 %	94.0%	94.8%

- STANDARD PARKING SPACES SHALL MEASURE NINE (9) FEET WIDE BY EIGHTEEN (18) FEET LONG.
- EXTERIOR BICYCLE RACK(S) SHALL BE PROVIDED TO ACCOMMODATE A MINIMUM OF SIX (6) BICYCLES. (REDEVELOPMENT PLAN)
- PARKING CALCULATION: (REDEVELOPMENT PLAN)  
 ONE (1) PARKING SPACE FOR EACH 1,000 SF OF FLOOR AREA.  
 (5,360 SF) X (1 PARKING SPACE/1,000 SF) = 6 SPACES REQUIRED  
 = 15 SPACES PROPOSED
- SIDEWALK REQUIREMENTS (REDEVELOPMENT PLAN)  
 A. PUBLIC SIDEWALKS CONSTRUCTED WITH DECORATIVE BRICK BANDS SHALL BE PROVIDED IN THE PUBLIC RIGHT-OF-WAY ALONG THE MAIN STREET AND NEW STREET FRONTS ADJACENT TO THE PROJECT AREA, IN ACCORDANCE WITH §110-147.D OF THE ORDINANCE. WHERE SUCH PUBLIC SIDEWALKS ALONG THE STREET EXTEND BEYOND THE PUBLIC RIGHT-OF-WAY ONTO PRIVATE PROPERTY, THE REDEVELOPER SHALL BE REQUIRED TO PROVIDE A PUBLIC ACCESS EASEMENT FOR THE PORTION OF THE PUBLIC SIDEWALK LOCATED ON PRIVATE PROPERTY.  
 B. A PEDESTRIAN WALKWAY SHALL BE PROVIDED ALONG THE NORTH SIDE OF THE BUILDING IN ORDER TO PROVIDE PEDESTRIAN ACCESS FROM THE REAR PARKING AREA TO THE PUBLIC SIDEWALK WITHIN THE MAIN STREET PUBLIC RIGHT-OF-WAY.  
 C. A PROTECTED PEDESTRIAN WALKWAY SHALL BE PROVIDED WITHIN THE EXISTING 5' WIDE EASEMENT ALONG THE WEST SIDE OF THE PROJECT AREA IN ORDER TO PROVIDE PEDESTRIAN ACCESS FROM THE REAR PARKING AREA AND NEW STREET PUBLIC PARKING FACILITY ON BLOCK 114, LOT 68 TO THE PUBLIC SIDEWALK WITHIN THE NEW STREET PUBLIC RIGHT-OF-WAY.
- REFUSE AND RECYCLING REQUIREMENTS (REDEVELOPMENT PLAN)  
 A. REFUSE AND RECYCLING FACILITIES SHALL BE PROVIDED TO ADEQUATELY ACCOMMODATE EACH USE, AND SHALL BE PROVIDED WITHIN EACH USE, THE BUILDING AND/OR ON THE SITE.  
 B. ANY EXTERIOR AREAS PROVIDED FOR THE COLLECTION AND PICKUP OF REFUSE AND RECYCLABLE MATERIALS SHALL BE SCREENED FROM PUBLIC VIEW.  
 C. SUCH SCREENING SHALL BE COMPOSED OF MATERIALS, COLORS, FINISHES, AND/OR DESIGN ELEMENTS THAT ARE CONSISTENT WITH THE ARCHITECTURE OF THE BUILDING AND IN ACCORDANCE WITH THE DESIGN VOCABULARY THAT IS COMPATIBLE AND/OR COMPLEMENTARY OF THE DESIGN, STYLE AND CHARACTER OF THE ADJACENT BUILDINGS IN THE DOWNTOWN AREA.  
 D. ANY EXTERIOR AREAS PROVIDED FOR THE COLLECTION AND PICKUP OF REFUSE AND RECYCLABLE MATERIALS SHALL BE ADEQUATELY LIT AND SHALL BE SAFELY AND EASILY ACCESSIBLE BY EMPLOYEES AND RECYCLING PERSONNEL.
- DRIVEWAY REQUIREMENTS (REDEVELOPMENT PLAN)  
 A. THERE SHALL BE NO DRIVEWAY ACCESS FROM ANY STREET. DRIVEWAY ACCESS AND INTERNAL VEHICULAR CIRCULATION SHALL BE ACCESSED FROM THE NEW STREET PUBLIC PARKING FACILITY ON THE ADJACENT LOT 68.  
 B. THE EXISTING ONE-WAY DRIVE-ALSE SERVING PERPENDICULAR PARKING STALLS AT THE NORTHWEST PORTION OF PROJECT AREA #2 SHALL BE PERMITTED TO REMAIN AT APPROXIMATELY 17.5 FEET IN WIDTH.
- LANDSCAPING REQUIREMENTS (REDEVELOPMENT PLAN)  
 A. STREET TREES SHALL BE PROVIDED AT INTERVALS OF APPROXIMATELY 30 TO 35 FEET ALONG THE STREET, WHETHER EXISTING OR PROPOSED. ANY NEW TREE SHALL BE A MINIMUM SIZE OF THREE (3) INCHES IN CALIPER AT TIME OF PLANTING.  
 B. ALL PORTIONS OF THE PROJECT AREA NOT UTILIZED BY BUILDINGS OR PAVED AREAS SHALL BE LANDSCAPED, UTILIZING COMBINATIONS OF TREE AND SHRUB PLANTINGS, LAWN AND OTHER VEGETATIVE GROUND COVERS IN ORDER TO MAINTAIN OR REESTABLISH VEGETATION IN THE AREA AND LESSEN THE VISUAL IMPACT AND CLIMATIC EFFECTS OF STRUCTURES AND PAVED AREAS. (REDEVELOPMENT PLAN)  
 C. A MASONRY WALL SHALL BE PROVIDED BETWEEN THE DRIVE-THROUGH CIRCULATION AREA AND THE PUBLIC SIDEWALK WITHIN THE NEW STREET PUBLIC RIGHT-OF-WAY IN ORDER TO VERTICALLY SCREEN VIEWS OF THE DRIVE-THROUGH CIRCULATION AREA.  
 D. SUCH WALL SHALL BE SIX (6) FEET IN HEIGHT ABOVE GRADE AND COMPRISE OF A REGULAR RHYTHM OF BRICK PIERS AND/OR DECORATIVE PANELS, AND SHALL BE CONSTRUCTED OF BRICK WITH A CAST STONE OR BRICK CAP THAT IS ARCHITECTURALLY COMPATIBLE WITH THE STYLE OF THE BUILDING.  
 E. A REGULAR RHYTHM OF STREET FURNITURE, BENCHES, BICYCLE RACKS, PLANTERS AND/OR OTHER LANDSCAPE FEATURES SHALL BE PROVIDED, WHERE FEASIBLE, ALONG PUBLIC SIDEWALKS.
- LIGHTING  
 A. STREET LIGHTING SHALL BE PROVIDED ALONG THE MAIN STREET AND NEW STREET FRONTS ADJACENT TO THE PROJECT AREA, WHETHER EXISTING OR PROPOSED, IN ACCORDANCE WITH §110-157 OF THE ORDINANCE.  
 B. ALL PEDESTRIAN AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHT FIXTURES.  
 C. LIGHTING MAY BE PROVIDED BY A COMBINATION OF GROUND RECESSED LIGHTING, BOLLARD LIGHTING, WALL-MOUNTED OR CEILING LIGHTING.  
 D. ALL FIXTURES SHALL BE APPROPRIATELY SHIELDED AND, WHERE ATTACHED TO A BUILDING, SUCH SHALL BE FOCUSED DOWNWARD. SOFT AMBIENT UP-LIGHTING SHALL BE PERMITTED.  
 E. ALL FIXTURES SHALL BE LED, NON-GLARE, FULL CUT-OFF AND SHALL NOT EXCEED A COLOR TEMPERATURE OF 3,300K.
- FENCE REQUIREMENTS  
 A. WALLS SHALL BE PERMITTED TO BE LOCATED IN FRONT YARDS, PROVIDED THAT SUCH SHALL NOT EXCEED A HEIGHT OF TWO FEET ABOVE GRADE. (§ 110-112.8)(1)(b) (M)  
 B. WALLS SHALL BE PERMITTED TO BE LOCATED IN SIDE OR REAR YARDS, PROVIDED THAT SUCH SHALL NOT EXCEED A HEIGHT OF FOUR FEET ABOVE GRADE. (§ 110-112.8)(2)(c)  
 C. ON CORNER LOTS AND THROUGH LOTS, THE REVIEWING AGENCY OR THE ZONING OFFICER SHALL HAVE THE ABILITY TO DETERMINE WHICH SIDEWAYS SHALL BE TREATED AS THE PRIMARY AND SECONDARY STREETS FOR THE PURPOSES OF THIS SUBSECTION. A SIDE OR REAR YARD FENCE OR WALL SHALL BE PERMITTED TO BE LOCATED IN THE FRONT YARD ALONG THE SECONDARY STREET, PROVIDED THAT SUCH SHALL BE NO CLOSER THAN TEN FEET TO ANY PROPERTY LINE ALONG A STREET. (§ 110-112.8.3)  
 D. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WARNERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN, TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WARNERS.  
 E. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO STARTING CONSTRUCTION OF ANY DISCREPANCY BETWEEN SOILS REPORTS AND PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADATIONS SHOWN INCORRECTLY ON THESE PLANS IF SUCH INFORMATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL DANGEROUS UNSUITABLE MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON REMOVAL OF EACH POLICY DURING CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL, HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ASSURE SAFETY, DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

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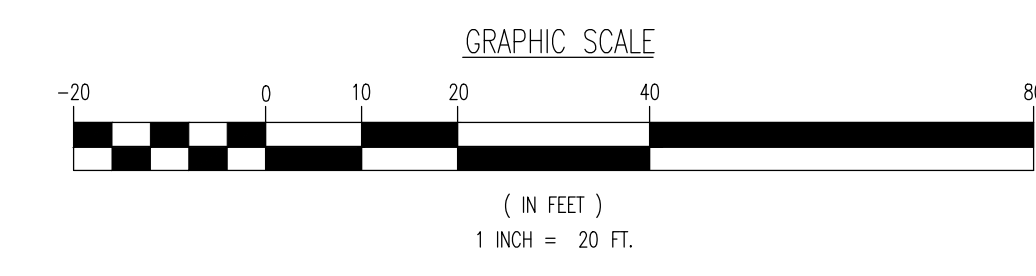
**SIGNAGE TABLE**

SIGN	PROPOSED
BUILDING MOUNTED	TWO (2)
NUMBER OF FACADE SIGNS:	
FACADE SIGN AREA FRONTING ON A PUBLIC STREET:	20.81 SF
FACADE SIGN AREA FRONTING ON A PARKING LOT:	37.85 SF
SIGN HEIGHT:	2.45 FT
SIGN WIDTH:	15.5 FT
HEIGHT OF LETTERS, NUMBERS OR CHARACTERS:	2.45 FT
PROJECTING SIGNS	TWO (2)
SIGN AREA:	4 SF
SIGN HEIGHT:	2 FT
SIGN WIDTH:	2 FT
HEIGHT OF LETTERS, NUMBERS OR CHARACTERS:	2.2 FT
PROJECTION:	2.29 FT
CLEARANCE:	11.4 FT
AWNING/CANOPY SIGNS	SIX (6)
NUMBER OF SIGNS:	
SIGN AREA:	
2 - "DO NOT ENTER"	2 SF (EACH)
2 - "OPEN/CLOSED"	1.5 SF (EACH)
"ATM"	0.75 SF
"CLEARANCE"	2 SF
HEIGHT OF LETTERING:	6 IN
DIRECTIONAL	TWO (2)
NUMBER OF SIGNS:	
DIRECTIONAL SIGN AREA:	5 SF
ATM GRAPHICS	22.65 SF
AREA:	
N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE	

**SIGNAGE NOTES**

- SIGNAGE REQUIREMENTS (REDEVELOPMENT PLAN)  
 A. THE PRIMARY BUILDING SIGN SHALL BE LOCATED ON THE CORNER TOWER ELEMENT. SUCH SIGN SHALL BE A WALL-MOUNTED SIGN, WITH THE MAXIMUM SIZE OF SIGN NOT EXCEEDING 30 SQUARE FEET, THE MAXIMUM HEIGHT OF SIGN NOT EXCEEDING THREE (3) FEET, AND THE MAXIMUM WIDTH OF SIGN NOT EXCEEDING 12 FEET. ALL DIMENSIONS SHALL BE COMPUTED BY DETERMINING THE LARGEST OVERALL HORIZONTAL AND VERTICAL DIMENSIONS OF THE OVERALL SIGN LETTERS, CHARACTERS AND LOGOS.  
 B. ADDITIONALLY, UP TO TWO (2) BLADE SIGNS SHALL BE PERMITTED, ONE ON EITHER END OF THE CORNER TOWER ELEMENT.  
 C. THE PROVISION AND MAINTENANCE FOR PUBLIC ART DISPLAY BOARDS AND/OR COMMUNITY SIGNAGE SHALL BE DETERMINED IN THE REDEVELOPMENT AGREEMENT.  
 D. ALL OTHER SIGNAGE SHALL BE INDICATED IN A COMPREHENSIVE SIGN PACKAGE, INCLUDING, BUT NOT LIMITED TO, REAR, CANOPY AND OVERHEAD SIGNAGE. SUCH SIGN PACKAGE SHALL PROVIDE SUFFICIENT INFORMATION REGARDING THE PROPOSED MATERIALS, COLORS FINISHES AND/OR DETAILS FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.

- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RELATED TO THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS. MEDIATION FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE NOTICES CONTAINED HEREIN, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATION OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STRONGER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF THE SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURE PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH MAC 52.2-7, AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

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PROJECT: **MANASQUAN BANK PROPOSED BANK W/ DRIVE-THRU**

BLOCK 114, LOTS 24, 25, 26, & 66  
 429 MAIN STREET  
 BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

DATE: 12/05/2019

JOB No: 0036-99-007

DESIGNED BY: KJH

CHECKED BY: KCK

SCALE: (H) 1"=20' (V)

SHEET No:

**4**

OF 12

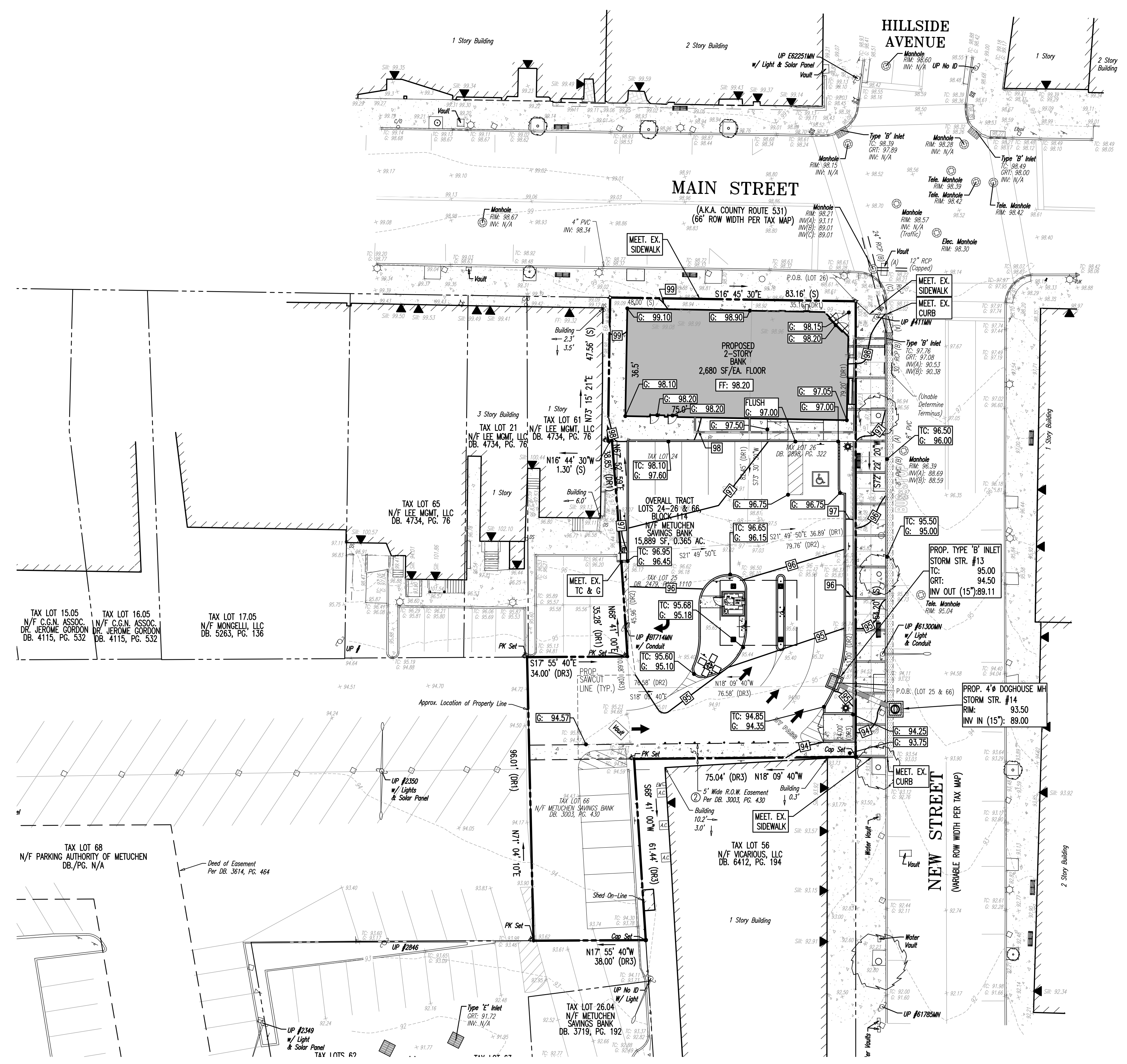
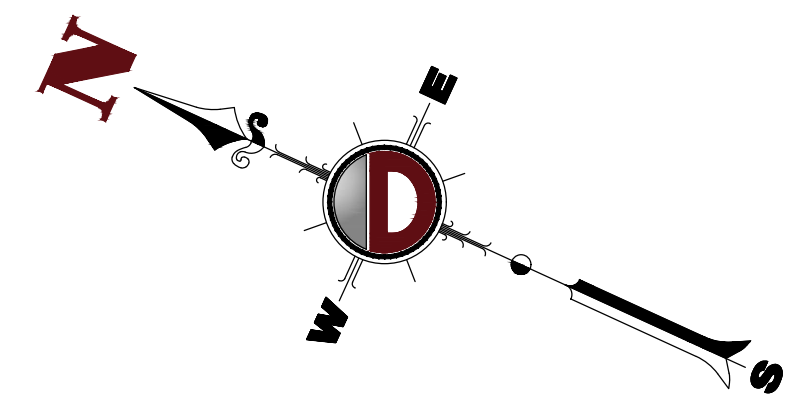
**KYLE C. KAVINSKI**

PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52985

**JOHN A. PALUS**

PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 41975





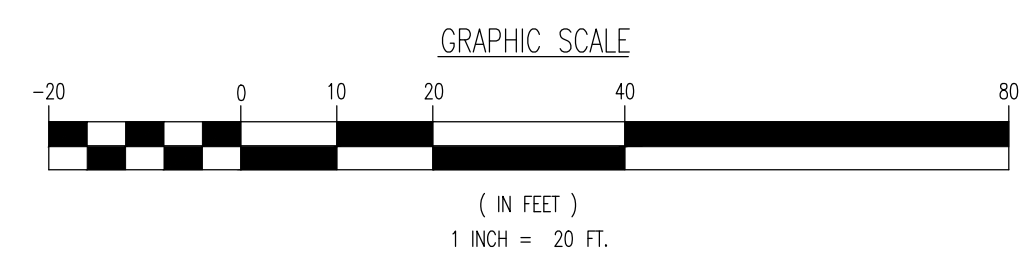
**GRADING NOTES**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. 1557-12-15E2. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE OR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTATION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% OUTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 3% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE. WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-679-7265) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS FOR ALL SOIL FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

**ADA NOTES**

ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NUAC 5-2.1-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

- SIDEWALKS / ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)
  - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- CURB RAMP**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE FEELS CROSS RAMP)
  - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING STALLS**
- SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- RAMPS**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
  - MAX. RISE: 30"
  - MIN. CLEAR WIDTH: 36"
  - MIN. LANDING CLEAR LENGTH: 60"
  - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)



**GRADING/UTILITY GRAPHIC LEGEND**

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p> <p>PROP. WATER LINE</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR &amp; ELEVATION</p> <p>PROP. MAJOR CONTOUR &amp; ELEVATION</p> <p>EXIST. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB &amp; FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB, (CH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB &amp; (CL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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F: 732.974.3521  
www.dynamicoc.com

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PROJECT: **MANASQUAN BANK PROPOSED BANK W/ DRIVE-THRU**  
 429 MAIN STREET  
 BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

DESIGNED BY: **KYLE C. KAVINSKI**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52985

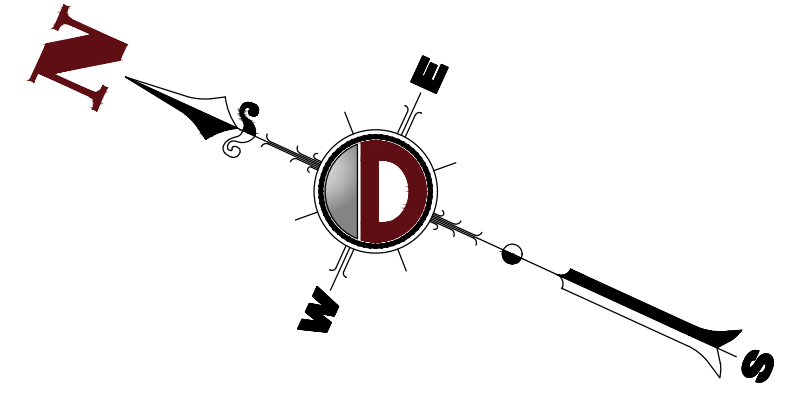
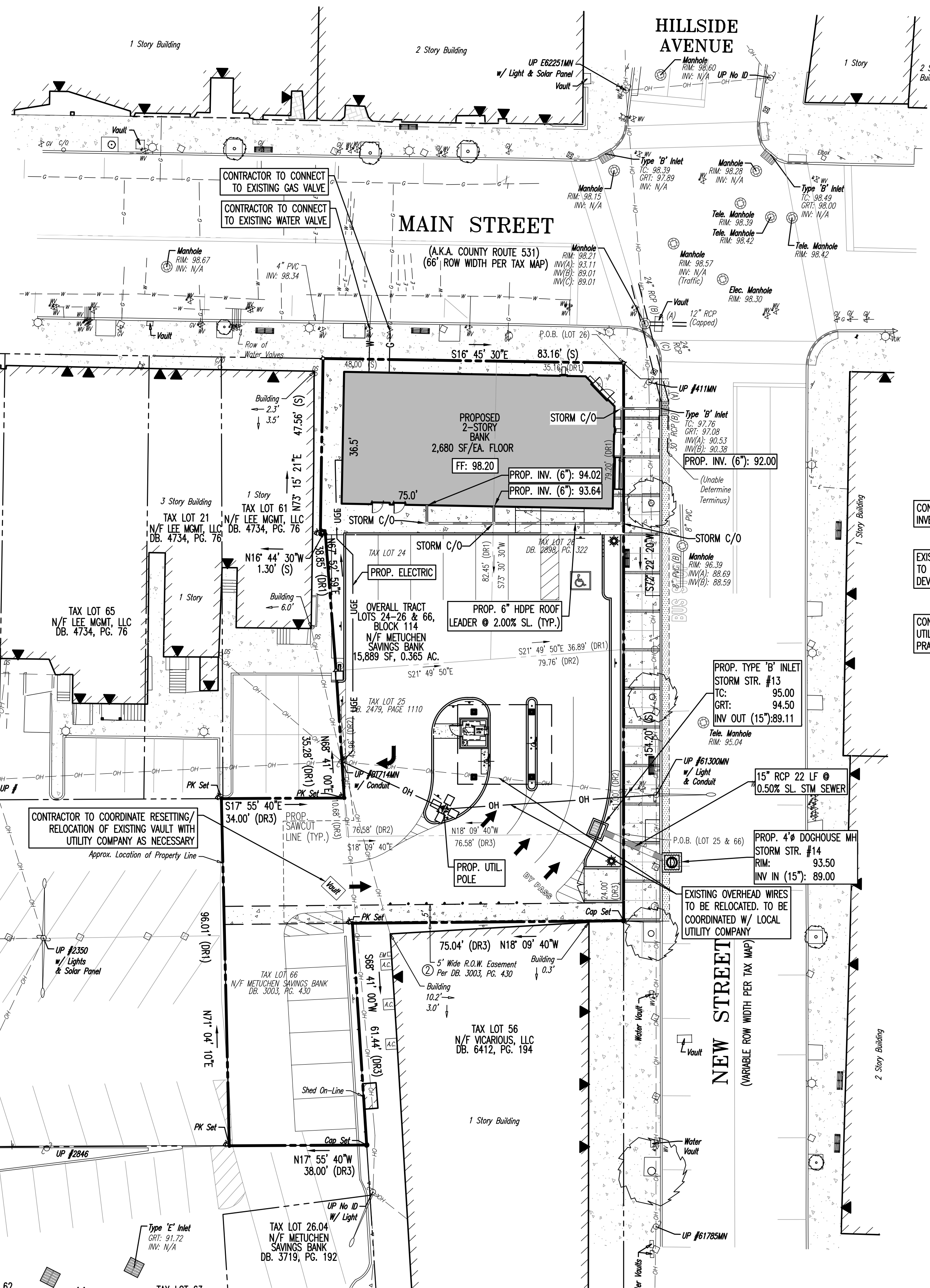
CHECKED BY: **JOHN A. PALUS**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 41975

JOB NO: 0036-99-007  
 DATE: 12/05/2019  
 SCALE: (H) 1"=20'  
 (V)  
 SHEET NO: **5**  
 OF 12

FOR STATE SPECIFICATIONS VISIT WWW.CALL811.COM

Product Ver: 24.0s (LMS Tech)  
 P:\VEPC PROJECTS\0036 Longo Architects\00369075XG.dwg. ---> 05 GRADING PLAN  
 02/25/21 - 10:18 AM, By: keegee  
 02/04/21 REV PER REDEVELOPMENT PLAN  
 06/17/20 REV PER REDEVELOPMENT PLAN  
 02/04/21 REV PER REDEVELOPMENT PLAN  
 02/04/21 REV PER REDEVELOPMENT PLAN





**EXISTING UTILITY NOTES**

**EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. IF THE EXISTING GAS SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

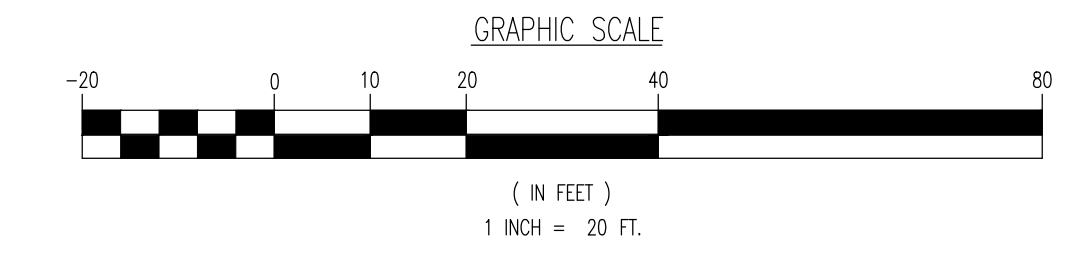
**SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**UTILITY NOTES**

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM D3212 AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

**IRRIGATION NOTE:**

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN & BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, SPRINGS, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.



**GRADING/UTILITY GRAPHIC LEGEND**

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. OVERHEAD WIRES</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR &amp; ELEVATION</p> <p>PROP. MINOR CONTOUR &amp; ELEVATION</p> <p>EXIST. MAJOR CONTOUR &amp; ELEVATION</p> <p>PROP. MAJOR CONTOUR &amp; ELEVATION</p> <p>EXIST. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB &amp; FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DECISION)</p> <p>PROP. TOP OF EXTENDED CURB (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB &amp; (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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 New Orleans, Louisiana 1: 227.865.0274 | Dallas, Texas 1: 972.921.8570

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TITLE: **UTILITY PLAN**

PROJECT: **MANASQUAN BANK PROPOSED BANK W/ DRIVE-THRU**  
 BLOCK 114, LOTS 24, 25, 26, & 66  
 429 MAIN STREET  
 BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 0036-99-007 DATE: 12/05/2019

DRAWN BY: KJH SCALE: (H) 1"=20' (V)

DESIGNED BY: KCK SHEET No:

CHECKED BY: JAP

CHECKED BY: \_\_\_\_\_

**KYLE C. KAVINSKI** **JOHN A. PALUS**

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52985

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975

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Rev. # 2

Plotted: 02/25/21 - 10:18 AM, By: keegee, Product: Ver: 24.0s (LMS Tech) File: P:\VEPC PROJECTS\0036 Longo Architects\09-007 Metuchen\DWG\Site Plans\00369907512.dwg, ---> 06 UTILITY PLAN